

# COPPER SKY DESTILLERY

## UNITS C, D, E

110 Emery Street  
Longmont, CO 80501



Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



## COPPER SKY DESTILLERY

110 Emery Street  
Longmont, CO 80501

PROJECT INFORMATION:  
**21-C26**  
 DOCUMENT DATE:  
 1/12/2022 2:49:14 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

DRAWN BY:	DATE:	07/05/22
JESSIE C.		
CHECKED BY:	DATE:	11/30/21
DAVID ESCOBAR		
REV. #:	DATE:	07/05/22
1		
COMMENTS:		Big Dept. Comm.

LSE BUILDERS GROUP  
 COVER SHEET

# A0.0



**PROJECT NARRATIVE:**

The owner of Copper Sky Distillery is proposing to relocate his existing business operation to the existing core and shell structure located at 110 Emery Street in Longmont, CO. Copper Sky Distillery will occupy units C, D, and E, within the building with a total tenant space of 6,905 s.f. The business operation includes a tasting room and bar along the north side of the building for customers to enjoy the distilled spirits. The tasting room includes a small retail area, a men's restroom and women's restroom. A large storage room is adjacent to the tasting room for storage of dry goods such as glass bottles, dustless grain, and sugar. No high pile storage is proposed. Beyond the tasting room is the processing room where the still and related distillery equipment is located. Adjacent to the processing room is a break room, mezzanine office, and the barrel storage room where wood casks of distilled spirits will be stored. Beyond the processing room is a private tasting room for tour groups to taste distilled spirits. This bar will only be available to tour guests by appointment and will have a very minimal occupant load. One shared restroom is available adjacent to the private bar area.

The thermal envelope of the structure was analyzed during the core and shell permit review. One new exterior man door is proposed and one new overhead door. Each door will be insulated.

**SHEET INDEX**

SHEET NO.	SHEET NAME
<b>ARCHITECTURAL</b>	
A0.0	COVER SHEET
A0.1	EGRESS STUDY
A0.2	DATA
A1.0	EXISTING CONDITION/ DEMO
A1.1	PROPOSED OVERALL PLAN
A1.2	ROOF PLAN
A1.3	DETAIL PROD/ STORAGE PLAN
A1.4	DETAIL TASTING BAR
A1.5	DETAIL SPEAK EASY BAR
A1.6	FURNITURE DETAIL
A1.7	OFFICE/ MEZZANINE DETAIL
A3.0	SECTIONS
A5.0	BOILER ROOM DETAILS
A5.1	ADA RESTROOMS / RCP DETAILS
A5.2	STAIR/ HIDDEN DOOR DETAILS/ SPEC SHEETS
A5.3	DETAILS/ SPEC SHEETS
<b>STRUCTURAL</b>	
S1.0	GENERAL NOTES, ABBREVIATIONS, SYMBOLS & DETAILS
S2.0	FOUNDATION PLAN
S2.1	MEZZANINE AND LOW ROOF FRAMING PLAN
S2.2	UPPER ROOF FRAMING PLAN
S3.0	DETAILS
S3.1	DETAILS
<b>MECHANICAL</b>	
M1.0	SCHEDULES
M1.1	MEC PLAN
<b>ELECTRICAL</b>	
E0.0	NOTES & ONE-LINE DIAGRAM
E0.1	SCHEDULES
E1.0	LIGHTING PLAN
E2.0	POWER PLAN
<b>PLUMBING</b>	
P0.1	DETAILS & SCHEDULES
P1.0	WASTE AND VENT PIPING
P2.0	WATER AND GAS PIPING
<b>SUPPLEMENTAL DOCUMENTS</b>	
F	FIRE REPORT

**ROOM SCHEDULE**

Name	Number	Level	Area
TASTING/BAR	101	T.O. SLAB	1630 SF
DRY STORAGE	102	T.O. SLAB	781 SF
MIRR	103	T.O. SLAB	65 SF
W/RR	104	T.O. SLAB	65 SF
UTL	105	T.O. SLAB	23 SF
PRODUCTION	106	T.O. SLAB	1544 SF
BARREL STORAGE	107	T.O. SLAB	1195 SF
BREAK ROOM	108	T.O. SLAB	204 SF
SHARED RR	109	T.O. SLAB	94 SF
SPEAK EASY BAR	110	T.O. SLAB	894 SF
RETAIL	111	T.O. SLAB	100 SF
BOILER ROOM	112	T.O. SLAB	108 SF
T.O. SLAB: 12			6701 SF
OFFICE	201	T.O. MEZZANINE	204 SF
T.O. MEZZANINE: 1			204 SF
Grand total: 13			6905 SF
OUTDOOR PATIO	113	T.O. SLAB	467 SF
T.O. SLAB: 1			467 SF
Grand total: 1			467 SF

NOTE: THE ROOM AREAS ABOVE EXCLUDE WALL THICKNESS.

**PROJECT DIRECTORY**

**OWNER:**  
 Mike Root  
 1115 Colorado Ave, Suite C.  
 Longmont, CO 80501  
 Contact: Mike Root  
 (719) 362-0702  
 mike@copperskydistillery.com

**ARCHITECT:**  
 Asher Architects  
 512 5th Street  
 Berthoud, CO 80513  
 Contact: David Stranathan  
 (970) 532-9970  
 david@asherarch.com

**STRUCTURAL ENGINEER:**  
 G.A. ESCOBAR ASSOCIATES  
 402 Main Street  
 Longmont, CO 80501  
 Contact: Gus Escobar  
 (303) 678-5222  
 Gus@gaescobar.com

**MECHANICAL ENGINEER:**  
 Denver Heating & Air  
 1900 W Hamilton Place  
 Sheridan, Colorado 80110  
 Contact: Duane Fitts  
 (720) 626-3487  
 duane@denverheating.com

**ELECTRICAL ENGINEER:**  
 Bret's Electric, LLC  
 8312 Raspberry Way, Suite A  
 Frederick, Colorado 80504  
 Contact: Justin Martin  
 (720) 494-8944  
 justin@bretselectric.com

**PLUMBING ENGINEER:**  
 Thompson Engineering  
 1615 California Street, Suite 301  
 Denver, Colorado 80202  
 Contact: Josh Brooks  
 (303) 991-0991 X204  
 jbrooks@thompson-eng.com

**FIRE ENGINEER:**  
 Veritas Fire Engineering  
 12364 W. Alameda Pkwy, Suite 135  
 Lakewood, Colorado 80228  
 Contact: Kenneth Sutton  
 (303) 985-3300  
 email@veritasfire.com

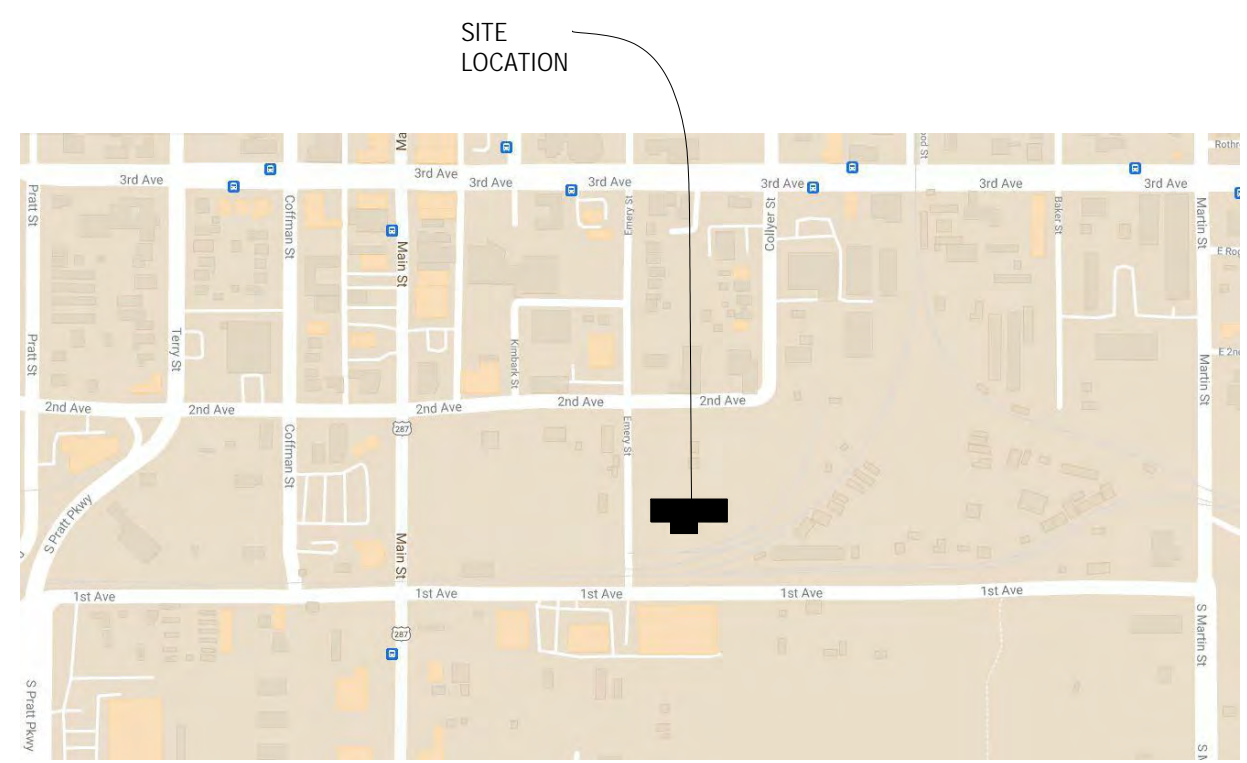
**GENERAL CONTRACTOR:**  
 LSE Builders Group  
 318 Main Street  
 Longmont, CO 80501  
 Contact: Steven South  
 (303) 264-8561  
 steven@lsebuildersgroup.com

**AREA SCHEDULE - BY LEVEL**

NAME	LEVEL	AREA
Area	T.O. SLAB	6809 SF
1		6809 SF
Area	T.O. MEZZANINE	204 SF
1		204 SF
Grand total: 2		7013 SF

**GENERAL NOTES**

1. THE TERM "OWNER" SHALL DENOTE THE CLIENT, OR OWNER, AS DESIGNATED IN THE CONTRACT. THE TERM "GENERAL CONTRACTOR" OR "CONTRACTOR" SHALL DENOTE THE CORPORATION, COMPANY, PARTNERSHIP, FORM OR INDIVIDUAL WHO HAS ENTERED INTO THE CONTRACT FOR THE PERFORMANCE OF THE WORK AND HAS ENGAGED SUBCONTRACTORS TO PERFORM A PART OF THE WORK. THE TERM "DESIGNER" REFERS TO ASHER ARCHITECTS.
2. THE USE OF THE WORDS "PROVIDE" AND "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED SHALL BE INTENDED TO MEAN THAT THE ITEM SHALL BE FURNISHED, INSTALLED AND CONNECTED WHERE SO REQUIRED.
3. ALL DIMENSIONS ARE TAKEN TO FACE OF STUD, GRID CENTERLINES, OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
4. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
5. THE DRAWINGS AND SPECIFICATIONS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND THE GENERAL TYPE OF CONSTRUCTION REQUIRED. THEY ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP.
6. DRAWINGS AND GENERAL NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL. WORK SHOWN OR REFERRED TO ON ANY DRAWING SHALL BE COMPLETED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
7. ALL WORK PERFORMED AND MATERIAL INSTALLED SHALL BE, AS A MINIMUM STANDARD, IN STRICT CONFORMANCE WITH THE LATEST EDITIONS OF ALL GENERAL CODES, REGULATIONS AND ORDINANCES INCLUDING THE BUILDING CODE. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY HAVING JURISDICTION OVER THE PERFORMANCE OF THE WORK.
8. CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN, NOTED, SPECIFIED, OR REASONABLY INFERRED FROM THE CONSTRUCTION DOCUMENTS.
9. THE GENERAL CONTRACTOR UPON ACCEPTANCE OF THE DRAWINGS AND SPECIFICATIONS ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE WORK, AND SHALL COMPLY WITH THE SPIRIT AS WELL AS THE LETTER OF THAT WHICH IS CONTAINED THEREIN.
10. THE SCOPE OF WORK DESCRIBED BY THE CONTRACT DOCUMENTS IMPLIES A COMPLETED PROJECT. MINOR OMISSIONS FROM AND DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL NOT VOID SUCH INTENTION. THE CONTRACTOR SHALL INFORM THE DESIGNER IN WRITING OF ANY CONFLICTS, OMISSIONS AND DISCREPANCIES PRIOR TO CONSTRUCTION.
11. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. HE SHALL COORDINATE ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
12. THE GENERAL CONTRACTOR SHALL PERFORM HIGH-QUALITY PROFESSIONAL WORK. MATERIALS SHALL BE JOINED TO UNIFORM. ACCURATE FITS SO THAT THEY MEET IN NEAT, STRAIGHT LINES FREE OF SMEARS OR OVERLAPS. EXPOSED MATERIALS SHALL BE INSTALLED APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES TO OR FLUSH WITH ADJACENT MATERIALS. THE WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THE TRADE, EXCEPT WHERE THE REQUIREMENTS OF THE CONTRACT DOCUMENT ARE MORE STRINGENT.
13. THE PRESENCE OF AN ARCHITECTURAL REPRESENTATIVE ON THE JOBSITE DOES NOT IMPLY CONCURRENCE OF APPROVAL OF THE WORK. THE CONTRACTOR SHALL CALL TO THE ATTENTION OF THE DESIGNER SPECIFIC ITEMS FOR WHICH HE DESIRES TO OBTAIN APPROVAL.
14. THE GENERAL CONTRACTOR SHALL CORRECT DEFECTS IN MATERIAL AND WORKMANSHIP NOTED BY THE DESIGNER DURING PERIODIC SITE OBSERVATIONS AND AT PROJECT CLOSE-OUT.
15. THE GENERAL CONTRACTOR SHALL TURN THE PROJECT OVER TO THE OWNER FREE FROM ALL CONSTRUCTION DEBRIS, SCRAPS, MATERIALS AND EQUIPMENT, WITH ALL INTERIOR GLASS FREE FROM MANUFACTURER'S LABELS AND TAPE AND CLEAN ON BOTH SIDES; WITH ALL DOORS AND BUILT-IN MILLWORK WIPED DOWN AND FREE OF DIRT, GREASE AND OTHER FOREIGN MATERIAL.



110 EMERY STREET  
 Longmont, Co 80501  
 Boulder County, Colorado

VICINITY PLAN  
 SCALE: .....NOT TO SCALE.....





Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP. ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

**ASHER ARCHITECTS**

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



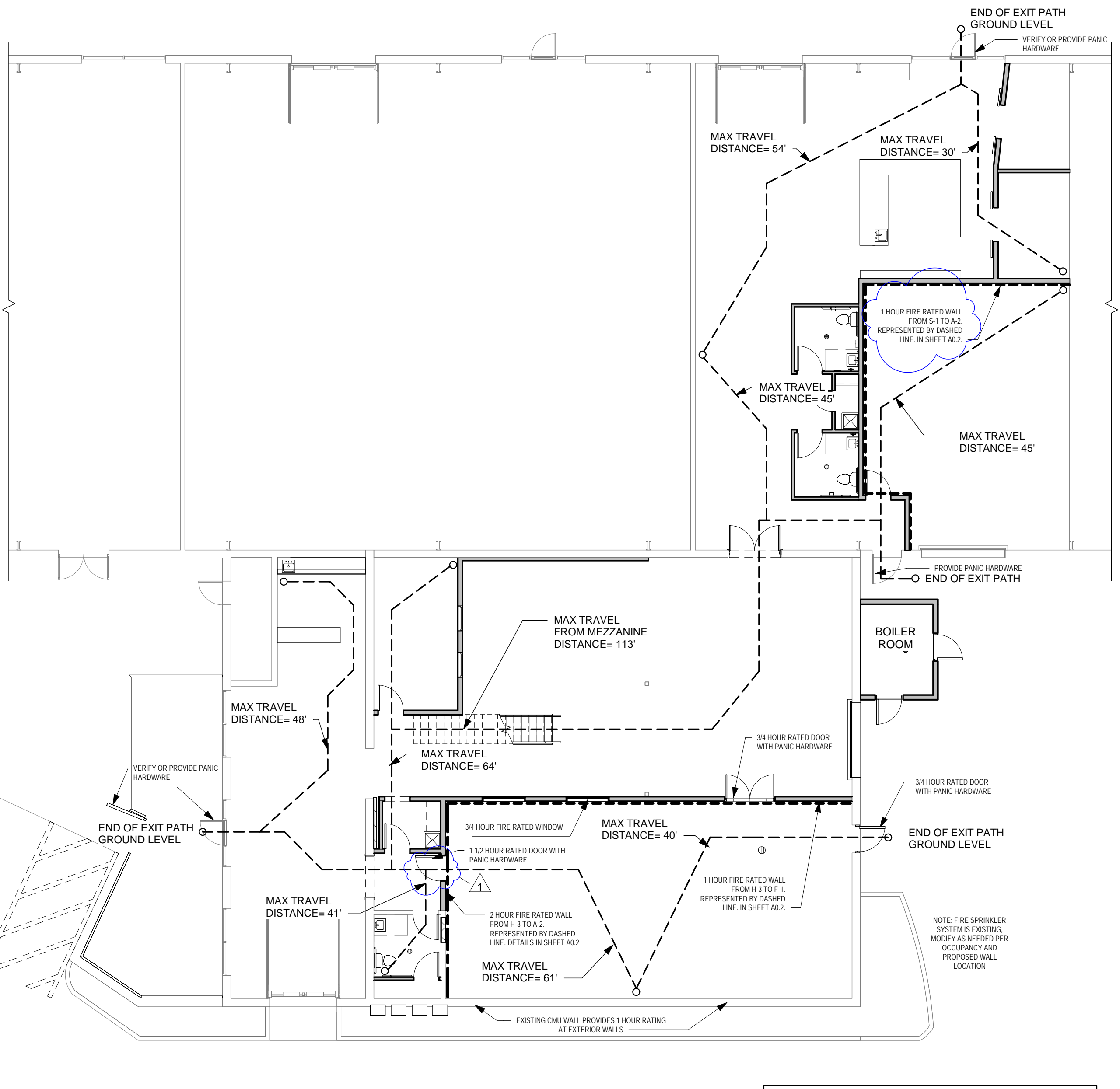
**COPPER SKY DISTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

PROJECT INFORMATION:  
 21-C26 DOCUMENT DATE:  
 11/20/22 2:49:18 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

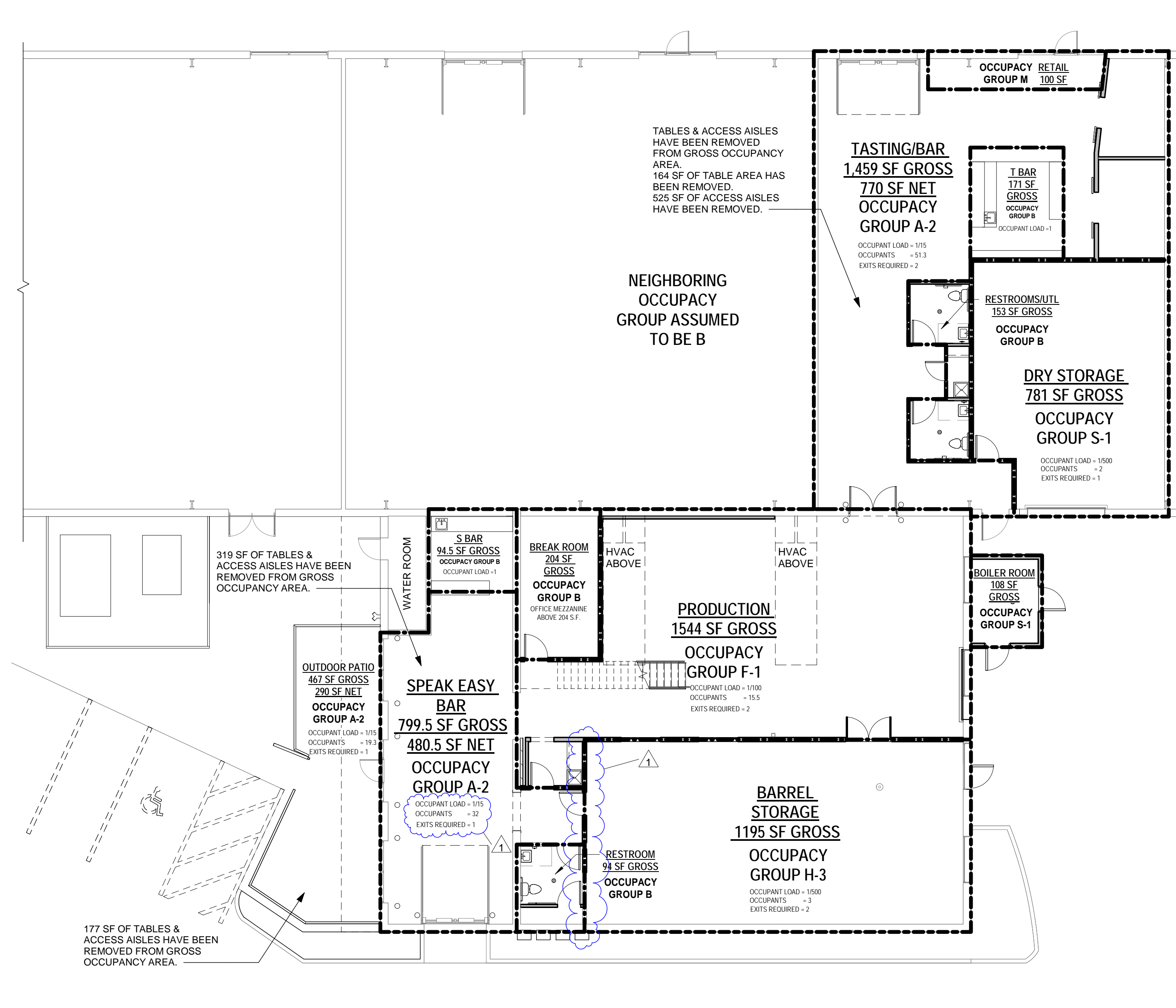
DESIGNED BY:	DATE:
CHECKED BY:	DATE:
REV. #:	DATE:
BY:	DATE:

EGRESS STUDY

**A0.1**



**1 EGRESS STUDY/FIRE RATING PLAN**  
 1" = 10'-0"



**2 OCCUPANCY MAP**  
 1" = 10'-0"

**CODE STUDY:**

**Applicable Codes:**  
 2018 International Building Code, 2018 International Existing Building Code  
 2018 International Plumbing Code, 2018 International Mechanical Code  
 2020 National Electric Code, 2018 International Fire Code  
 2018 International Energy Conservation Code Per Alternate Means Request  
 ICC/ANSI A17.1-2009 Accessible and Useable Building and Facilities

**Insulation Requirements:** ICC  
 Thermal envelope is existing from core & shell permit. New doors will be insulated with U value of 0.3 or better.

**Construction Type:** (2018 IBC Tables 506.2 pg. 109-110 and Chapter 6)  
 Type 2B With fire suppression Per core + Shell docs.

**Building area:**  
 Building Footprint Total = 19,133 S.F.  
 Tenant Area Total = 6,809 S.F. (204 SF Mezzanine)

Mezzanine floor area is less than one-third of the production room floor area per 2018 IBC Section 505.2

**Occupancy Groups:** (2018 IBC Sections 303 - 312 pg. 45-54)

Ground Floor:		
A-2	Tasting Rooms)	= 2,258.5 S.F.
H-3	(Barrel Storage Room)	= 1,195 S.F.
S-1	(Dry Storage Room/ Boiler Room)	= 889 S.F.
F-1	(Processing / Distilling Room)	= 1,544 S.F.
B	(Break Room) Circulation+ Bars+Restrooms	= 716.5 S.F.
M	(Retail within Tasting Room)	= 100 S.F.
	<b>Total</b>	<b>= 6,703 S.F.</b>
A-2	(Outdoor Patio)	= 467 S.F.

**Occupancy Separation:** (IBC 2018 Table 508.4 pg. 115)  
 -H3 and B,F,I,M,S1 occupancy groups require 1 hour fire barrier separation.  
 -H3 and A occupancy groups require 2 hour fire separation.  
 -S1 and A-2 required to be 1hr separation.

**Allowable Height and Area:** Sprinkled Type 2B Structure (IBC 2018 Tables 504.4, 504.3 and 506.2 pg. 106-110)

A-2	= 11,500 Sq. Ft. 3 Story 75 Foot Max Height
H-3	= 14,000 Sq. Ft. 2 Story 55 Foot Max Height
B	= 18,000 Sq. Ft. 4 Story 75 Foot Max Height

Allowable area modification is not required for this structure. No allowable areas are exceeded (IBC 2018 Tables 504.4 and 506.2 pg. 106-110)

**H-3 Distillery Occupancy Details:**  
 The primary on-site hazardous materials intended for this facility are:  
 -Flammable and Combustible Liquids: Ethanol (Ethyl Alcohol, C2H5OH) A liquid in aqueous concentrations. Ethanol is water miscible (Mixes uniformly with water)  
 Flammable and Combustible liquids must comply with all applicable code requirements of the 2018 IFC including chapter 50 -Hazardous materials general provisions and chapter 57 Flammable and Combustible Liquids.  
 The product being distilled within this facility is anticipated to be between 40% and 80% Ethanol Content by Volume. Classifications are listed below for 40% to 90% alcohol content

**Alcohol Classification:**

Ethanol Content (By Volume)	Flash Point (Closed Cup)	2018 IFC Product Class
90%	65 F	Flammable liquid class IB
80%	65 F	Flammable liquid class IB
70%	70 F	Flammable liquid class IB
60%	72 F	Flammable liquid class IB
50%	75 F	Flammable liquid class IC
40%	79 F	Flammable liquid class IC

Note: Concentrations of ethanol below 20% in the ranges expected after fermentation (prior to distillation) are classified in accordance with the distilled Spirits Council and the 2018 IFC as Combustible Liquids Class II

**Maximum allowable quantities per 2018 IBC Table 307.1(1)**

Material	Class	Group when Qty. is Exceeded	Storage Liquid Gallons	Use-Closed System Gallons
Flammable liquid	IB	H-2	less than 240 (fire sprinkled)	less than 240 (Fire Sprinkled)

**Use-Closed System Details:**  
 -Copper Sky Distillery is proposing a 230 gallon capacity closed vessel still that will receive approximately 190 gallons of fermented Mash.  
 -The still will be heated to approximately 212 degrees Fahrenheit using a fully closed internal steam coil. The still is equipped with pressure release valves, and monitored by two continuously operating cameras.  
 -The still and the condenser are located within a containment area with stainless steel floor drains  
 -Each distillation will produce around 30 gallons of 40-80%ABV (80-160 proof) in about 5 hrs.

**Storage Details:**  
 - Distillate is transferred into 53-gallon wood barrels  
 - Approximately 100 barrels will be stored at a time within the barrel storage room.  
 - Barrels will be stored on metal holding racks, 2 barrels high.

**Bottling Details:**  
 -Once the product has finished aging within the barrel storage room, the barrels are taken to the spill containment area for bottling.  
 -The product is bottled into 750 ml glass bottles and packages with 6 bottles per case and 50 cases per pallet.  
 General Notes:  
 Combustible Dusts may also be present on this site in limited quantities, and appropriate precautions should be taken including frequent cleaning to avoid dust accumulation. Grains, sugars, or any powdered product should be evaluated with respect to combustible dust hazard.  
 -Copper Sky distillery purchases their grain products from Root Shoot Malting. Root Shoot Provides milled bagged grain products, no milling takes place within the Copper Sky facility. Milled grain are added directly to water to prevent air born dust.

**Boiler Requirements:**  
 -The alcohol still is heated via an on site boiler  
 Boiler size = 1,080,000BTU  
 -Boiler shall be inspected by the state division of Oil & Public safety boiler inspection program. Contact Mr. Tom Martinez at (970) 215- 9539 or tom.martinez@state.co.us to schedule required inspection. Please verify compliance.  
 -Per 2018 IBC Table 509 pg. 116- 1 hour fire separation or sprinkler system is required for boilers over 400,000 BTU or over 15 psi or 10 horsepower.  
**Boiler Room Requirements:**  
 - 2 Exits are required Per 2018 IBC section 1006.2.2.1 For a boiler exceeding 400,000 BTUs.  
 - Fire Sprinkler system will be provided.

**Occupant Loads:** (2018 IBC Table 1004.5 pg.259)  
 See occupancy map for occupant load areas and details.  
 -Tables, Access Aisles and wall thickness have been removed from net area calculations.

A-2	(North Tasting room)	770 Sq. Ft. / 1 Occ. per 15 Sq.Ft	= 51.3 Occupants
A-2	(Southwest Tasting room+ Patio)	770.5 Sq. Ft. / 1 Occ. per 15 Sq.Ft	= 51.3 Occupants
H-3	(Barrel Storage Room)	1,195 Sq. Ft. / 1 Occ. per 500 Sq.Ft	= 3 Occupants
S-1	(Dry Storage Room/ Boiler Room)	889 Sq. Ft. / 1 Occ. per 500 Sq.Ft	= 2 Occupants
F-1	(Processing / Distilling Room)	1,544 Sq. Ft. / 1 Occ. per 100 Sq.Ft	= 15.5 Occupants
B	(Offices + Restrooms)	716 Sq. Ft. / 1 Occ. per 150 Sq.Ft	= 4.8 Occupants
M	(Retail within Tasting room)	100 Sq. Ft. / 1 Occ. per 60 Sq.Ft	= 2 Occupants

Total Code Occupants = 130.1 Occupants

**Accessibility Requirements:** (Chapter 11 IBC)  
 -60% of public entrances shall be accessible per 2018 IBC Section 1105.1 pg.307  
 -Provide clear floor area at all doors and fixtures as shown within this plan set and per ICC A117.1 Section 404.2.3

**Requirements within existing structures (IEBC):**  
 -No area of this building will become less safe due to the proposed improvements per IEBC Section 701.2  
 -This remodel is a change of occupancy based on the IEBC

**Means of Egress:**  
 Accessible means of egress shall meet the requirements of Chapter 10

**Egress Distance Requirements:** (2018 IBC Table 1017.2 pg. 285)  
 -A-2 Exit travel distance max = 250'  
 -H-3 Exit travel distance max = 150'  
 -F-1 Exit travel distance max = 250'  
 -B Exit travel distance max = 300'  
 -M Exit travel distance max = 250'

**Common Path Egress Requirements:** (2018 IBC Table 1006.2.1 pg. 282)  
 -A-2 occupancy common path egress travel distances are less than 75' and max occupant load 49  
 -H-3 occupancy common path egress travel distances are less than 25' and max occupant load 3  
 -F-1 occupancy common path egress travel distances are less than 100' and max occupant load 49  
 -B occupancy common path egress travel distances are less than 100' and max occupant load 49  
 -M occupancy common path egress travel distances are less than 75' and max occupant load 49

-For spaces required to have 2 exit paths. Dead end corridors not to exceed 50' per 2018 IBC Section 1020.4 exception 2 pg. 288

**Egress Illumination** (2018 IBC Section 1008 pg.264).  
 -The means of egress, including the exit discharge, shall be illuminated at all times  
 -Illumination shall not be less than 1 foot-candle at the walking surface level as required per IBC 2018 Section 1008.2.1  
 -Provide battery backup egress illumination within the egress pathway 2018 IBC Section 1008.3.1  
 -See electrical engineering plans for emergency lighting locations

**Fire rated Glazing:**  
 Per 2018 IBC table 716.1 (2) for glazing areas over 100 sq. in. provide fire rated glazing with D-H-45 markings.  
 Per 2018 IBC table 716.1 (3) provide a 3/4 hour rated window assembly with OH-45 or W-60 Rating markings.

**Door Requirements:**  
**General**  
 -Minimum clear width at all egress doors is 32". Maximum nominal door width is 48" per 2018 IBC section 1010.1.1  
 -Landings shall be provided at each side of all doorways with a minimum width equal to the door width and a length of 44" minimum per 2018 IBC Section 1010.1.6  
 -Doors in a series shall be provided with 48" minimum plus the width of the door swinging into the space. Doors in a series shall swing in the same direction or away from the space between the doors per 2018 IBC Section 1010.1.8  
**Door swing** 2018 IBC Section 1010.1.2  
 -Egress doors shall be pivot or hinge type doors.  
 Exception: office, storage, or factory areas with less than 10 occupants.  
 -Egress doors shall swing in the direction of travel unless serving areas will be less than 50 occupants and not an H occupancy group per 2018 IBC Section 1010.1.2.1

**Thresholds**  
 Thresholds at door openings shall not exceed 1/2" in height per 2018 IBC Section 1010.1.7

**Hardware**  
 Egress doors shall be readily operable from the egress side without a key or special knowledge per 2018 IBC Section 1010.1.9  
 Accessible doorways shall not require turning of the wrist to operate. provide lever arm knobs or push/pull hardware per 2018 IBC Section 1010.1.9.1  
 -Unlatching of egress doors shall not require more than one operation per 2018 IBC 1010.1.9.6  
 -Provide panic hardware along the egress path for H & A occupancy areas.

**Fire Rated Door**  
 The egress door from the H-3 occupancy to the F-1, B Occupancy are required to have a 3/4 hour fire rating to the exterior per 2018 IBC table 716.1 (2)

**Restroom Requirements:** (2018 IBC Table 2902.1 pg.587-589)  
**Water Closets Required**

Business	= 1 per 25 @ 2.4 men/ 2.4 women	= 0.096
Storage	= 1 per 100 @ 1 men/ 1 women	= 0.01
Factory / Industrial	= 1 per 100 @ 7.75 men/ 7.75 women	= 0.078
Assembly	= 1 per 40 @ 51.3 men/ 51.3 women	= 1.28
Mercantile	= 1 per 500 @ 1 men/ 1 women	= 0.002
<b>Total</b>	<b>= 1.47 men, 1.47 women.</b>	

1 Men's restroom with one toilet + 1 Woman's restroom with one toilet + 1 Unisex Toilet are provided within the proposed building

**Lavatories Required**

Business	= 1 per 40 @ 2.4 men/ 2.4 women	= 0.06
Storage	= 1 per 100 @ 1 men/ 1 women	= 0.01
Factory / Industrial	= 1 per 100 @ 7.75 men/ 7.75 women	= 0.078
Assembly	= 1 per 75 @ 51.3 men/ 51.3 women	= 0.684
Mercantile	= 1 per 750 @ 1 men/ 1 women	= 0.001
<b>Total</b>	<b>= 0.83 men, 0.83 women.</b>	

1 Sink is provided within each of the three restrooms.  
 1 Service sink is available for cleaning purposes

**Finish Material Requirements.**  
 Millwork such as interior doors, door frames, window frames and sashes are allowed to be combustible materials per 2018 IBC Section 603.1 number 6  
 Wall finish materials are allowed to be combustible materials with a Class B flame spread index per 2018 IBC Section 603.1 number 7 page 121 and Section 803





ABBREVIATIONS

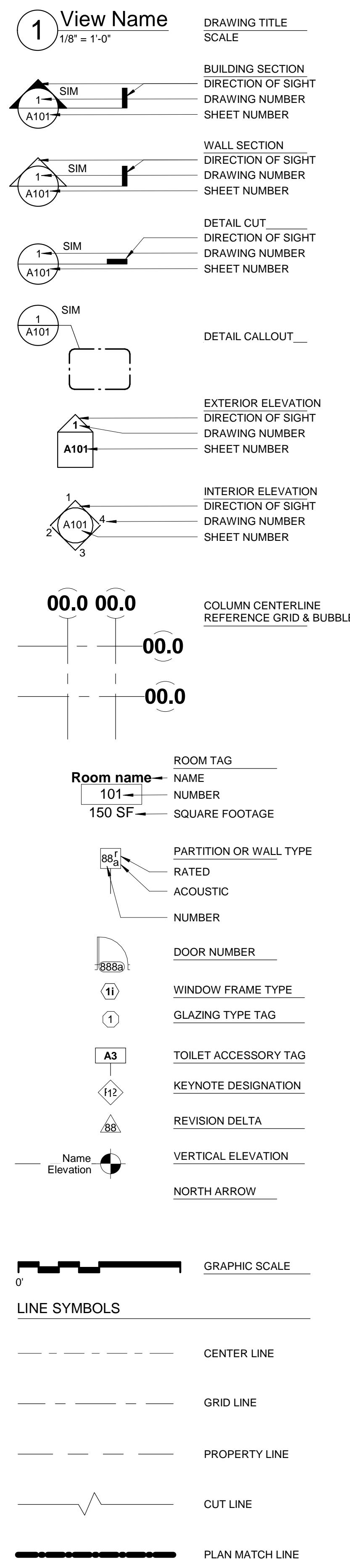
ABBREVIATIONS

ABBREVIATIONS

Table with 4 columns: Abbreviation, Description, Abbreviation, Description, Abbreviation, Description. Includes terms like POUND(S) or NUMBER, MEDICAL AIR, FIRE HOSE CABINET, etc.

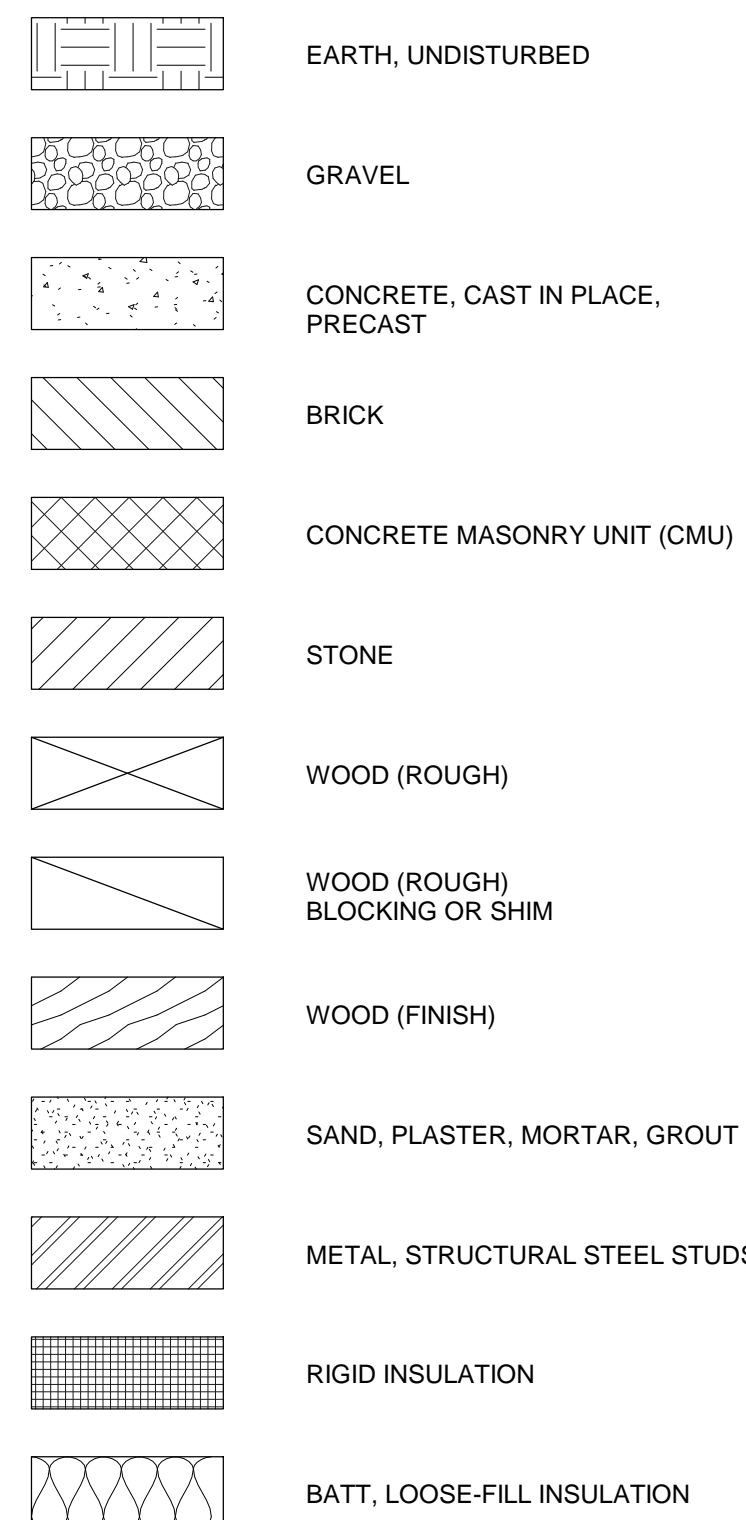
ARCHITECTURAL

GRAPHIC STANDARDS

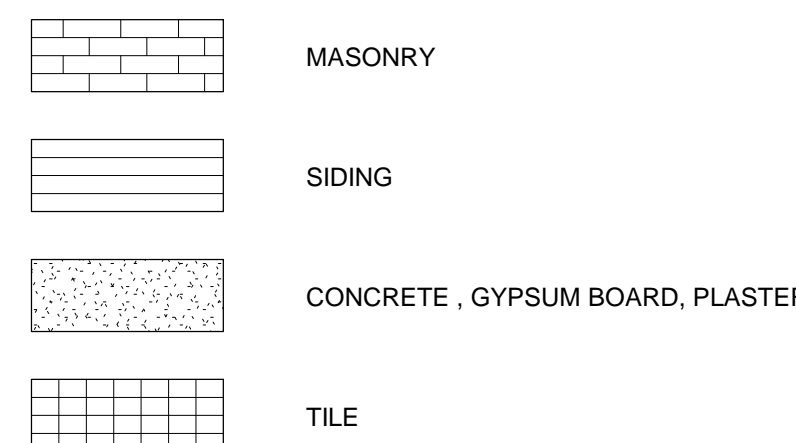


CONSTRUCTION

PLAN AND SECTION



ELEVATION

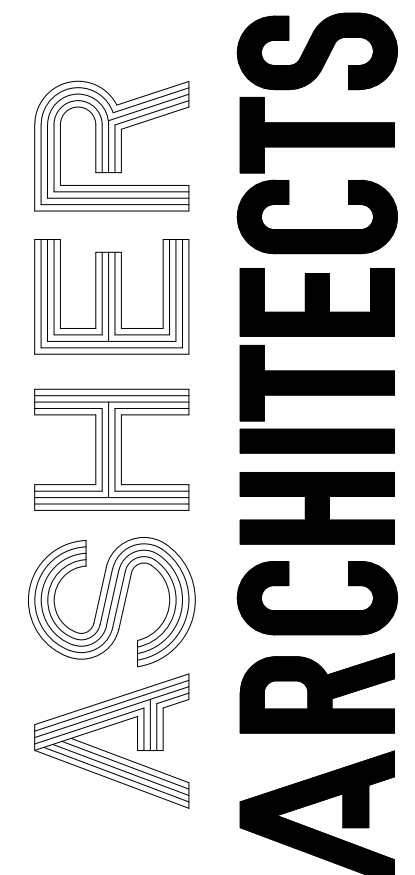


ROOM SCHEDULE

Table with 4 columns: Name, Number, Level, Area. Lists rooms like TASTING/BAR, DRY STORAGE, M/R/R, W/R/R, UTL, PRODUCTION, etc.



Approved January 11, 2022
© ASHER ARCHITECTS B.CORP.
ALL RIGHTS RESERVED.
This drawing is an instrument of service and is the sole property of Asher Architects.



a: 512 5th St.
BERTHOUD CO. 80513
p: 970-532-9970
w: AsherArch.com
e: David@AsherArch.com

FOR CONSTRUCTION



COPPER SKY
DESTILLERY
110 Emery Street
Longmont, CO 80501

PROJECT INFORMATION:
21-C26
DOCUMENT DATE:
1/12/2022 2:49:19 PM
DOCUMENT PHASE:
CONSTRUCTION DOCUMENTS

Table with 4 columns: DATE, COMMENTS, CHECKED BY, DATE, REV.#, COMMENTS. Lists project revisions.

DATA

A0.2

WALLS AND INTERIOR PARTITIONS, NONCOMBUSTIBLE
GA FILE NO. WP 1350
GENERIC
1 HOUR FIRE
35 to 39 STC SOUND
GYPSUM WALLBOARD, STEEL STUDS
One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 3/8" steel studs 24" o.c. with 1" Type S drywall screws 8" o.c. at vertical joints and 12" o.c. at floor and ceiling runners and intermediate studs. Joints staggered 24" on opposite sides. (NLB)

INTERIOR FIRE WALL ASSEMBLY DETAIL
LOCATED ALONG NORTH WALLS OF BARREL STORAGE ROOM.
GA FILE NO. WP 1522
GENERIC
2 HOUR FIRE
55 to 59 STC SOUND
GYPSUM WALLBOARD, STEEL STUDS
Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 3/8" steel studs 24" o.c. with 1" Type S drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side with 1 3/8" Type S drywall screws 12" o.c. Joints staggered 24" each layer and side. Sound tested with 3 1/2" glass fiber friction fit in stud space. (NLB)







Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of  
 service and is the sole property of  
 Asher Architects. Use of this  
 drawing is restricted to the original  
 site for which it was prepared. Any  
 reuse, reproduction, or publication  
 of this drawing by any method in  
 whole or in part without written  
 consent of the architect is  
 prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



**COPPER SKY  
 DESTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

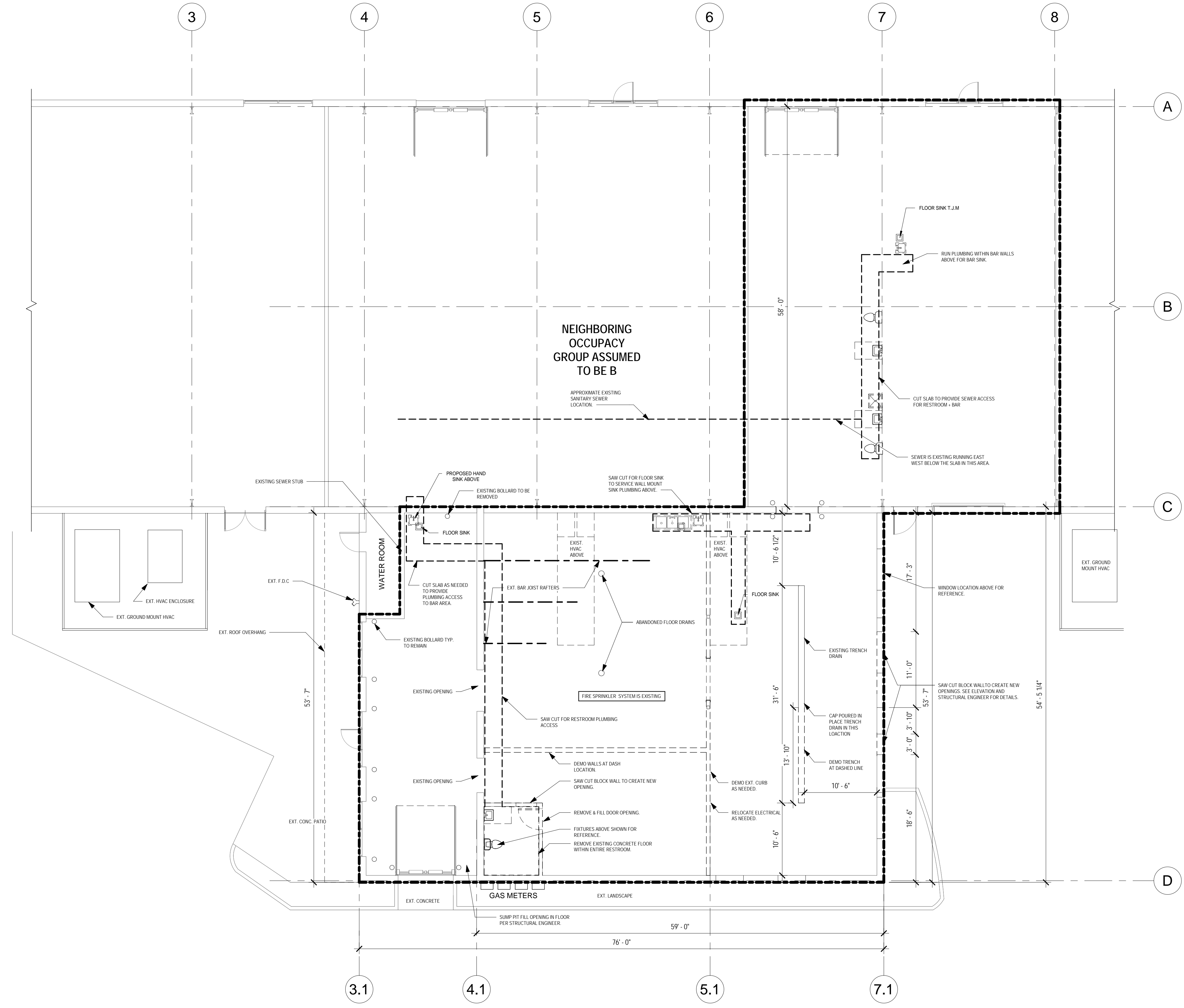
PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 1/12/2022 2:49:20 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

DRAWN BY:	DATE:	CHECKED BY:	DATE:	REV.#	COMMENTS
JESUS C.	07/05/22	DAVID	11/30/21		



EXISTING  
 CONDITION/  
 DEMO

**A1.0**



**1** EXISTING CONDITIONS / DEMO  
 1/8" = 1'-0"





Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



## COPPER SKY DISTILLERY

110 Emery Street  
 Longmont, CO 80501

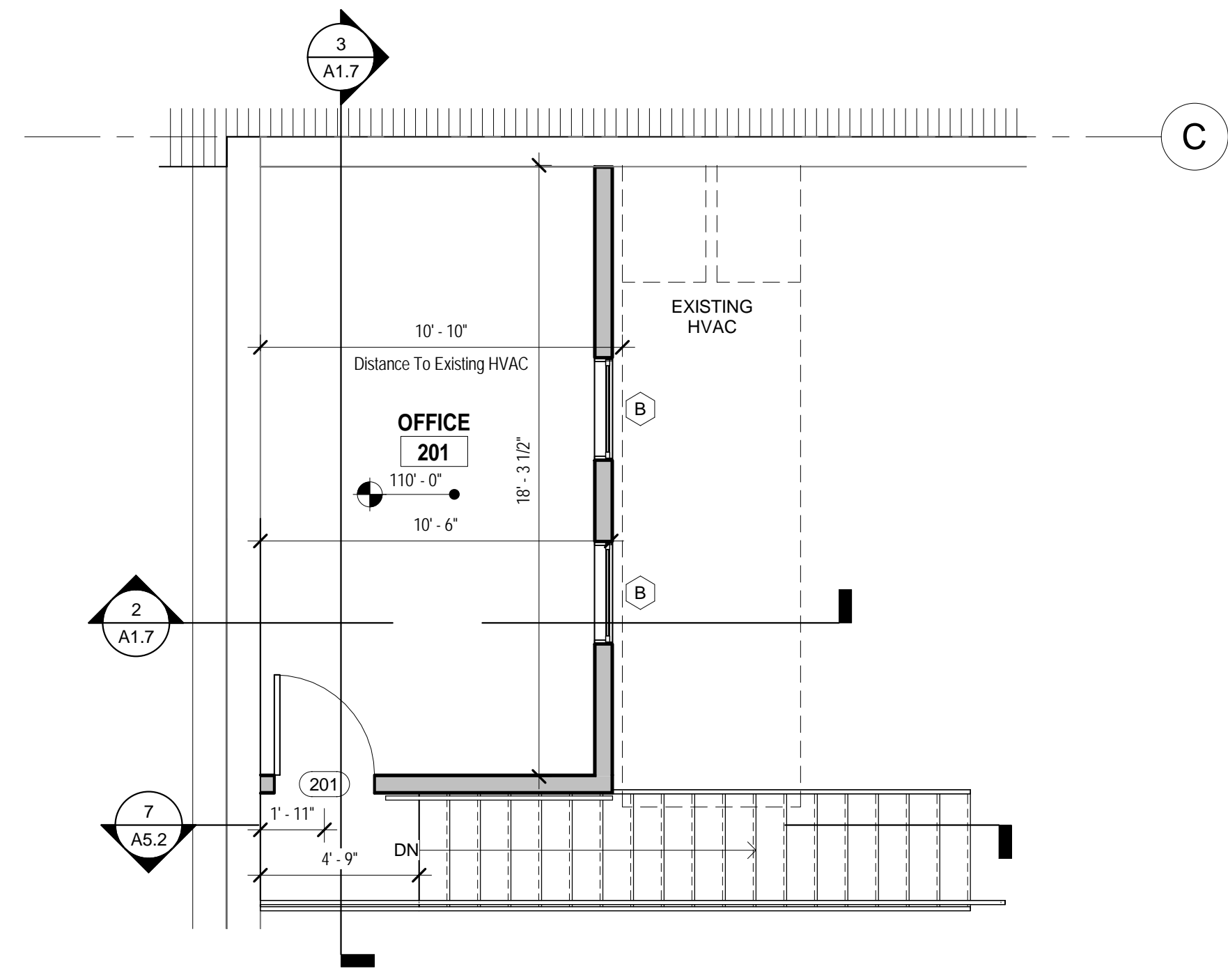
PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 1/12/2022 2:49:23 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

DATE	BY	REVISION
07/05/22	JES/JSC	DATE CHECKED BY: DATE
11/30/21	DAVID	DATE COMMENTS



PROPOSED OVERALL PLAN

# A1.1



**2 PROPOSED OFFICE/MEZZANINE**  
 1/4" = 1'-0" LOCATED DIRECTLY ABOVE BREAK ROOM

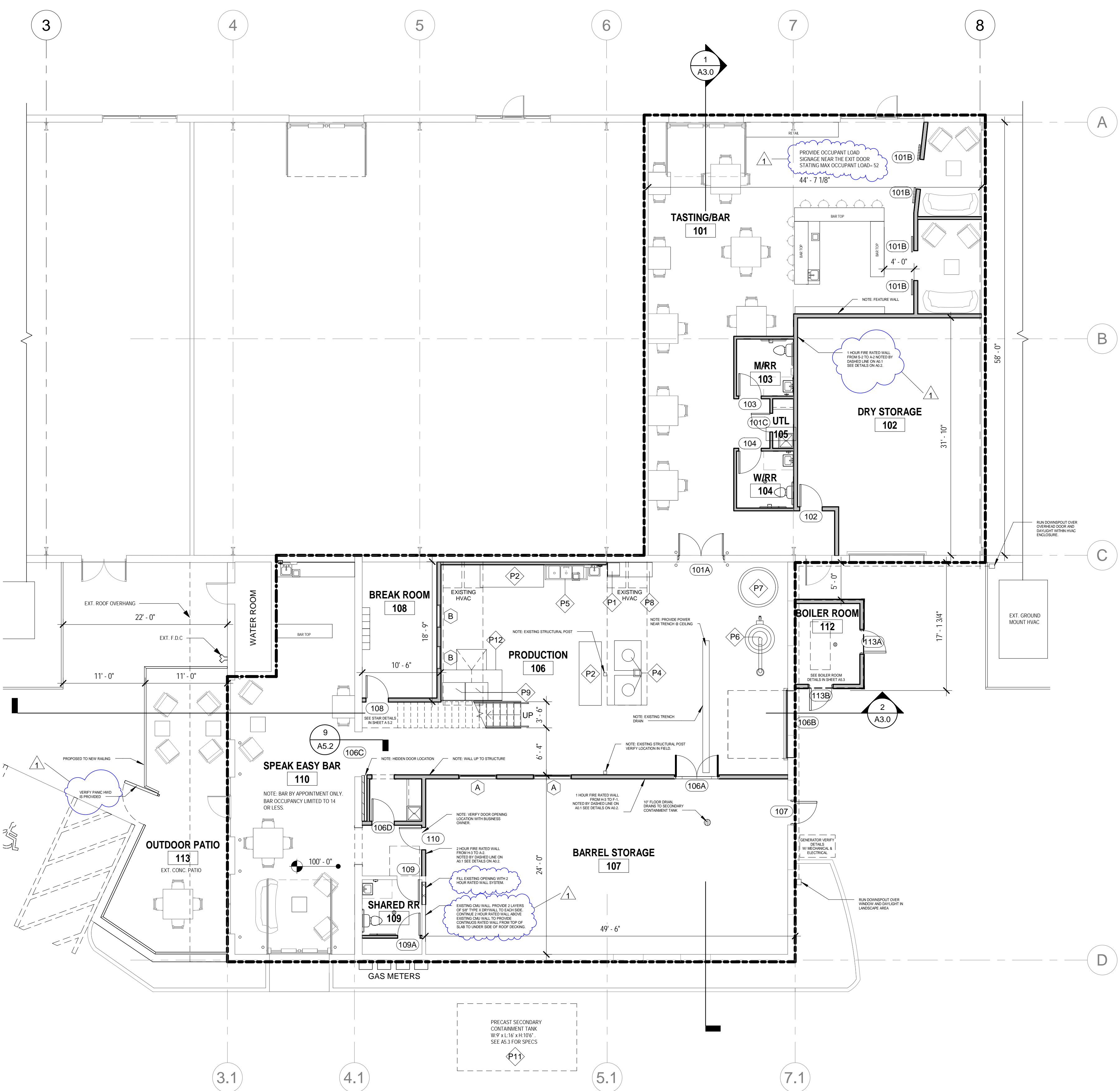
Level	TAG	Type	COUNT	WIDTH	HEIGHT	COMMENTS
T.O. SLAB	A	FXD	2	5'-0"	5'-0"	3/4 hr Rated Fire Window
<varies>	B	FXD	4	3'-0"	3'-0"	
Grand total: 6						

Level	Mark	Type	Comments	Width	Height	Comments	Fire Rating
Exterior							
T.O. SLAB							
T.O. SLAB	106B	B	Provide Electric Opener	9'-0"	9'-0"		without
T.O. SLAB	107	A	Includes Panic Hardware	3'-0"	7'-0"		3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	113A	A	Lock set hardware	3'-0"	7'-0"		3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	113B	A	Lock set hardware	3'-0"	7'-0"		3/4 HR Rated/ With Automatic Closing Device
Interior: 4							
T.O. SLAB							
T.O. SLAB	101A	D	Electronic Keypad	6'-0"	8'-0"		without
T.O. SLAB	101B	F	Black Barn Door Hardware	2'-0"	8'-0"		without
T.O. SLAB	101B	F	Black Barn Door Hardware	2'-0"	8'-0"		without
T.O. SLAB	101B	F	Black Barn Door Hardware	2'-0"	8'-0"		without
T.O. SLAB	101C	E	Lock set hardware	2'-6"	7'-0"		without
T.O. SLAB	102	E	Electronic Keypad	3'-0"	7'-0"		without
T.O. SLAB	103	E	Privacy Hardware	3'-0"	7'-0"		without
T.O. SLAB	104	E	Privacy Hardware	3'-0"	7'-0"		without
T.O. SLAB	106A	C	Includes Panic Hardware	6'-0"	8'-0"		3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	106C	G	Passage Hardware	6'-0"	8'-0"		without
T.O. SLAB	106D	E	Passage Hardware	3'-0"	7'-0"		without
T.O. SLAB	108	E	Passage Hardware	3'-0"	7'-0"		without
T.O. SLAB	109	E	Privacy Hardware	3'-0"	7'-0"		without
T.O. SLAB	109A	E	Lock set hardware	3'-0"	7'-0"		without
T.O. SLAB	110	A	Includes Panic Hardware	3'-0"	7'-0"		1 1/2 HR Rated/ With Automatic Closing Device
T.O. MEZZANINE							
T.O. MEZZANINE	201	E	Lock set hardware	3'-0"	7'-0"		without
Grand total: 21							

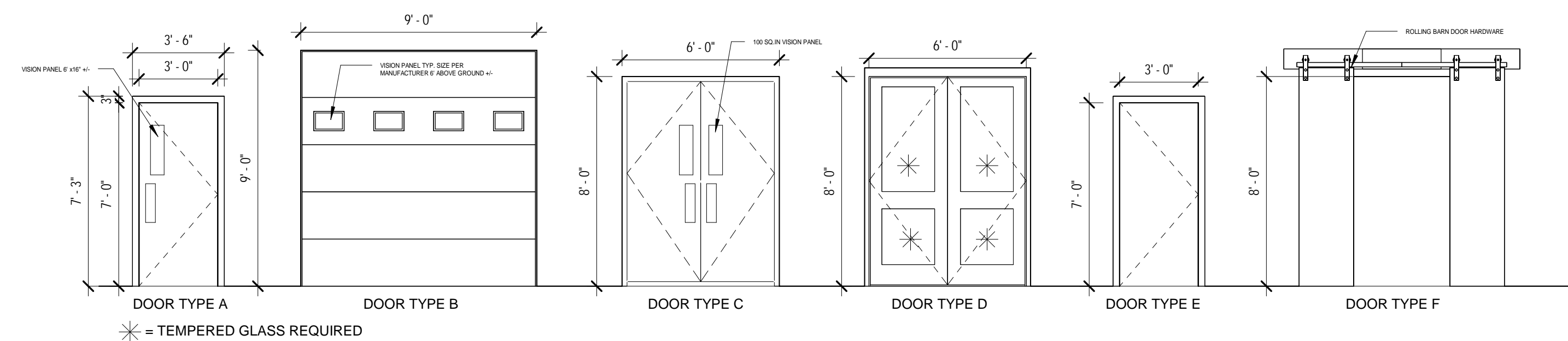
Name	Number	Level	Area	Floor Finish	Base Finish	Ceiling Finish	Wall Finish
TASTING/BAR	101	T.O. SLAB	1630 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
DRY STORAGE	102	T.O. SLAB	781 SF	Natural	4" Black Rubber Cove Base	No Paint	Drywall/ Paint
M/RR	103	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
W/RR	104	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
UTL	105	T.O. SLAB	23 SF	Sealed	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
PRODUCTION	106	T.O. SLAB	1544 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BARREL STORAGE	107	T.O. SLAB	1195 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BREAK ROOM	108	T.O. SLAB	204 SF	Natural	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
SHARED RR	109	T.O. SLAB	94 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
SPEAK EASY BAR	110	T.O. SLAB	894 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
RETAIL	111	T.O. SLAB	100 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BOILER ROOM	112	T.O. SLAB	108 SF	Natural	4" Black Rubber Cove Base	Black Paint	N/A
OUTDOOR PATIO	113	T.O. SLAB	467 SF	No Work	N/A	N/A	N/A
T.O. SLAB: 13							
OFFICE	201	T.O. MEZZANINE	204 SF	Carpet Tile Optional	4" Black Rubber Cove Base	Black Paint	Drywall/ Pain
T.O. MEZZANINE: 1							
Grand total: 14							

- DOOR TYPES:**
- A) INSULATED METAL PANEL DOOR WITHIN METAL FRAME.
  - B) INSULATED METAL PANEL OVERHEAD DOOR.
  - C) SOLID CORE FLAT PANEL WOOD GRAIN RATED DOOR W/ SELF CLOSING DEVICE AND PANIC HARDWARE.
  - D) STORE FRONT GLASS SYSTEM, DOUBLE DOOR.
  - E) SOLID CORE FLAT PANEL WOOD GRAIN DOOR W/ LEVER ARM KNOB.
  - F) 2 PANEL WOOD GRAIN BARN DOOR.
  - G) HIDDEN POCKET DOOR SEE DETAILS ON SHEET A5.0

- WALL FINISH:**
- NORTH WALLS: DRYWALL/ LIGHT GRAY COLOR
  - SOUTH WALLS: DRYWALL/ DARK GRAY COLOR
  - EAST WALLS: DRYWALL/ BURNT ORANGE COLOR
  - WEST WALLS: DRYWALL/ DARK GRAY COLOR



**1 PROPOSED OVERALL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"







Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

**ASHER ARCHITECTS**

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



**COPPER SKY DISTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

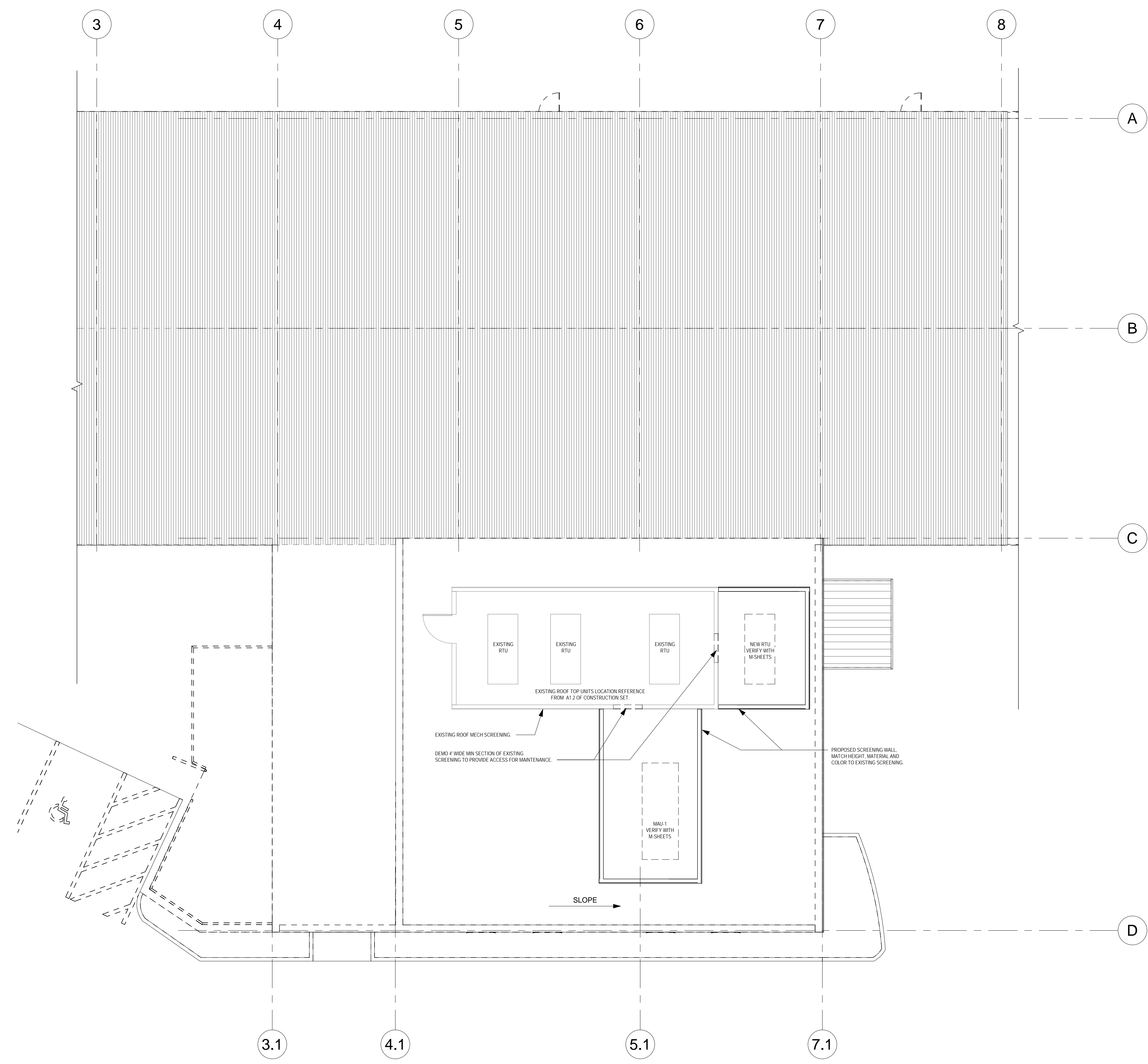
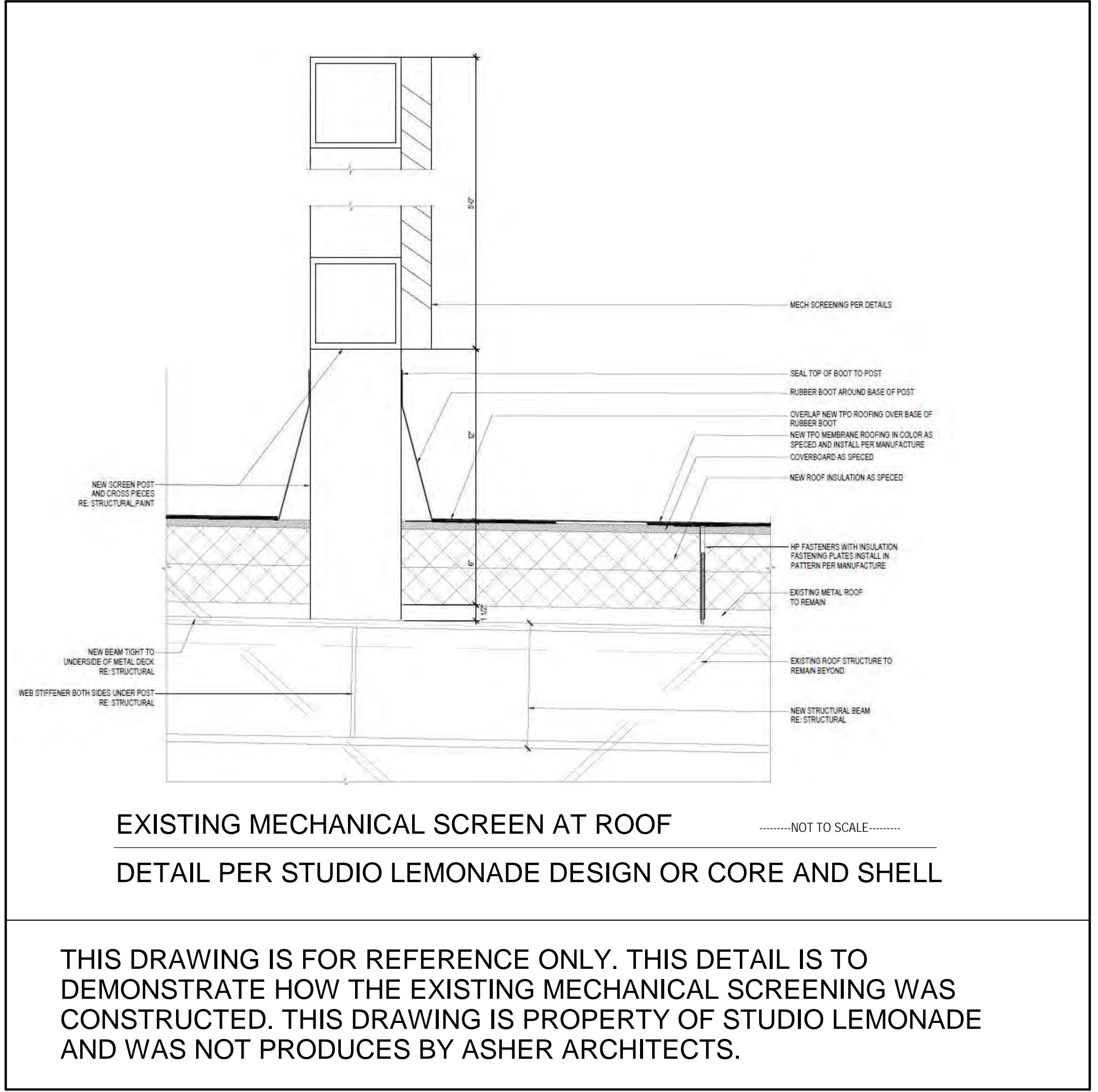
PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 1/12/2022 2:49:24 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

DRAWN BY:	DATE:	CHECKED BY:	DATE:	REV.#	COMMENTS
JESUS C.	07/05/22	DAVID	11/30/21		



ROOF PLAN

**A1.2**



**1 ROOF PLAN**  
 1/8" = 1'-0"





Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP. ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



**COPPER SKY DISTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

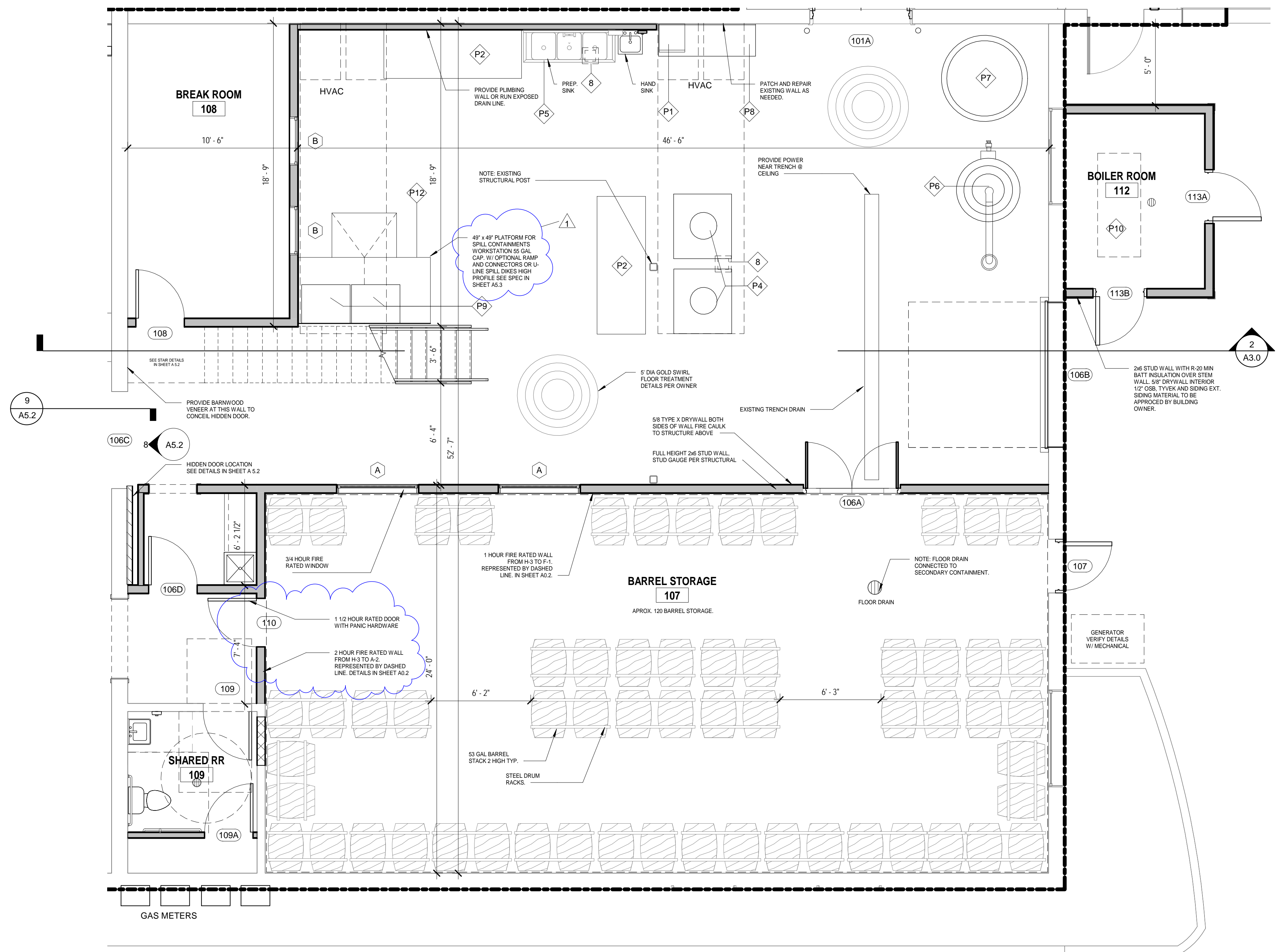
PROJECT INFORMATION:  
 21-c26  
 DOCUMENT DATE:  
 11/20/2022 2:49:25 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

DATE	07/05/22	
DRAWN BY	JES/JSC	
CHECKED BY	DAVID	
DATE	11/30/21	
REV.#	DATE	COMMENTS
A	07/05/22	Big. Dbr. Comm.

**LSE BUILDERS GROUP**

DETAIL PROD/  
 STORAGE PLAN

**A1.3**



**1** PRODUCTION/ STORAGE & BREAK ROOM DETAIL PLAN  
 1/4" = 1'-0"

Level	TAG	Type	COUNT	WIDTH	HEIGHT	COMMENTS
T.O. SLAB	A	FXD	2	5' - 0"	5' - 0"	3/4 hr Rated Fire Window
<varies>	B	FXD	4	3' - 0"	3' - 0"	
Grand total: 6						

Level	Mark	Type	Comments	Width	Height	Comments	Fire Rating
Exterior							
T.O. SLAB	106B	B		9' - 0"	9' - 0"	Provide Electric Opener	without
T.O. SLAB	107	A		3' - 0"	7' - 0"	Includes Panic Hardware	3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	113A	A		3' - 0"	7' - 0"	Lock set hardware	3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	113B	A		3' - 0"	7' - 0"	Lock set hardware	3/4 HR Rated/ With Automatic Closing Device
Interior: 4							
T.O. SLAB							
T.O. SLAB	101A	D		6' - 0"	8' - 0"	Electronic Keypad	without
T.O. SLAB	101B	F		2' - 0"	8' - 0"	Black Barn Door Hardware	without
T.O. SLAB	101B	F		2' - 0"	8' - 0"	Black Barn Door Hardware	without
T.O. SLAB	101B	F		2' - 0"	8' - 0"	Black Barn Door Hardware	without
T.O. SLAB	101B	F		2' - 0"	8' - 0"	Black Barn Door Hardware	without
T.O. SLAB	101C	E		2' - 6"	7' - 0"	Lock set hardware	without
T.O. SLAB	102	E		3' - 0"	7' - 0"	Electronic Keypad	without
T.O. SLAB	103	E		3' - 0"	7' - 0"	Privacy Hardware	without
T.O. SLAB	104	E		3' - 0"	7' - 0"	Privacy Hardware	without
T.O. SLAB	106A	C		6' - 0"	8' - 0"	Includes Panic Hardware	3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	106C	G		6' - 0"	8' - 0"	Passage Hardware	without
T.O. SLAB	106D	E		3' - 0"	7' - 0"	Passage Hardware	without
T.O. SLAB	108	E		3' - 0"	7' - 0"	Passage Hardware	without
T.O. SLAB	109	E		3' - 0"	7' - 0"	Privacy Hardware	without
T.O. SLAB	109A	E		3' - 0"	7' - 0"	Lock set hardware	without
T.O. SLAB	110	A		3' - 0"	7' - 0"	Includes Panic Hardware	1 1/2 HR Rated/ With Automatic Closing Device
T.O. MEZANINE							
T.O. MEZANINE	201	E		3' - 0"	7' - 0"	Lock set hardware	without
Interior: 17							
Grand total: 21							

Name	Number	Level	Area	Floor Finish	Base Finish	Ceiling Finish	Wall Finish
TASTING/BAR	101	T.O. SLAB	1630 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
DRY STORAGE	102	T.O. SLAB	781 SF	Natural	4" Black Rubber Cove Base	No Paint	Drywall/ Paint
M/RR	103	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
W/RR	104	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
UTL	105	T.O. SLAB	23 SF	Sealed	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
PRODUCTION	106	T.O. SLAB	1544 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BARREL STORAGE	107	T.O. SLAB	1195 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BREAK ROOM	108	T.O. SLAB	204 SF	Natural	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
SHARED RR	109	T.O. SLAB	94 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
SPEAK EASY BAR	110	T.O. SLAB	894 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
RETAIL	111	T.O. SLAB	100 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BOILER ROOM	112	T.O. SLAB	108 SF	Natural	4" Black Rubber Cove Base	Black Paint	N/A
OUTDOOR PATIO	113	T.O. SLAB	467 SF	No Work	N/A	N/A	N/A
T.O. SLAB: 13							
OFFICE	201	T.O. MEZANINE	204 SF	Carpet Tile Optional	4" Black Rubber Cove Base	Black Paint	Drywall/ Pain
T.O. MEZANINE: 1							
Grand total: 14							

ITEM NUM.	EQUIPMENT NAME	QTY.	MODEL NAME/NUMBER	EQUIPMENT SIZE	MOUNTING	POWER REQ.	GAS REQ.	WATER REQ.	NOTES
P1	- YEAST REFRIGERATOR	1	- GME04GGKBB	- 19 5/8"W x 21 1/4"D x 34 7/8"H	- FLOOR	- 120 V, 10 A	- N/A	- NONE	
P2	- PALLET RACKS	1	- PROVIDED BY OWNER	- 8'W x 3'D x 8'H	- FLOOR	- N/A	- N/A	- NONE	
P4	- FERMENT TANKS	1	- REGENCY / 600S1181818XRT	- 44 1/2"W x 43 3/4"D x 29 1/2" H	- FLOOR	- N/A	- N/A	- FILTERED	
P5	- 3 COMP. PREP. SINK	1	- REGENCY/ 600S3162018G	- 88"W x 25.5" D x 36.5" H	- FLOOR	- N/A	- N/A	- TAP	
P6	- STILL 230 gal	1	- DYE-500L-POTSILL COPPER STILL	- 8' W x 4.25' D x 9'10" H	- FLOOR	- N/A		- TAP	
P7	- COOK TANK 500 gal	1	- DYE-500GALLON MASH TUN	- 65" DIA x 99"	- FLOOR				
P8	- STAINLESS TABLE	1	- REGENCY OR EQUAL	- 72"W x 24" D x 38"H	- FLOOR	- N/A	- N/A	- NONE	
P9	- BOTTLING	2	- VERIFY DETAILS W/ OWNER		- FLOOR	- N/A	- N/A	- NONE	
P10	- BOILER	1	- RITE 135 S	- 71"W x 32" D x 63"H	- FLOOR	- 120V, 8 A	- YES, 1 1/4"	- TAP 1 1/2"	1,080,000 BTU OUTPUT
P11	- SEPTIC TANK	1	- CST-10000	- 16"W x 9' D x 10'6"H	- UNDER GROUND	- 120V, 8 A	- N/A	- NONE	10,000 GAL.
P12	- SPILL CONTAINMENT DRUM	2	- 4 DRUM- H4037 OR H-8678	- 49"W x 49"D x 6'H - 60"W x 4'D x 4 1/2'H	- FLOOR	- N/A	- N/A	- NONE	- CAP. 49 GAL. ADD 33"x48" RAMP - U-LINE HIGH PROFILE MODEL





Approved January 11, 2022

© ASHER ARCHITECTS B.CORP.  
ALL RIGHTS RESERVED.  
This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
BERTHOUD CO. 80513  
p: 970-532-9970  
w: AsherArch.com  
e: David@AsherArch.com

FOR CONSTRUCTION



**COPPER SKY DISTILLERY**  
110 Emery Street  
Longmont, CO 80501

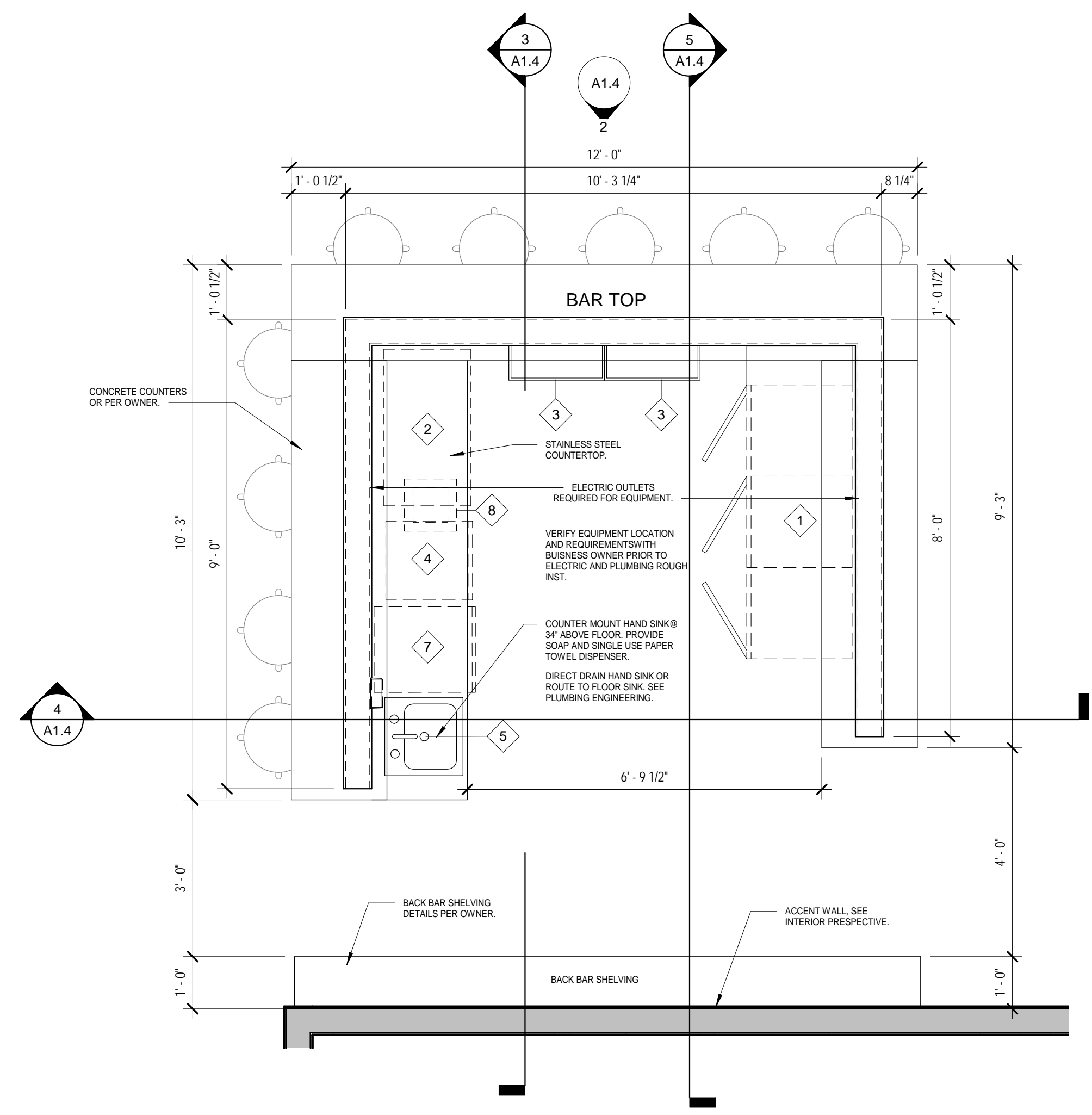
PROJECT INFORMATION:  
21-C26  
DOCUMENT DATE:  
1/12/2022 2:49:29 PM  
DOCUMENT PHASE:  
CONSTRUCTION DOCUMENTS

DATE	07/05/22
DRAWN BY:	JESSICA C.
CHECKED BY:	DAVID
DATE	11/30/21
COMMENTS	
REV.#	07/05/22
BY	Big Dept. Comm.

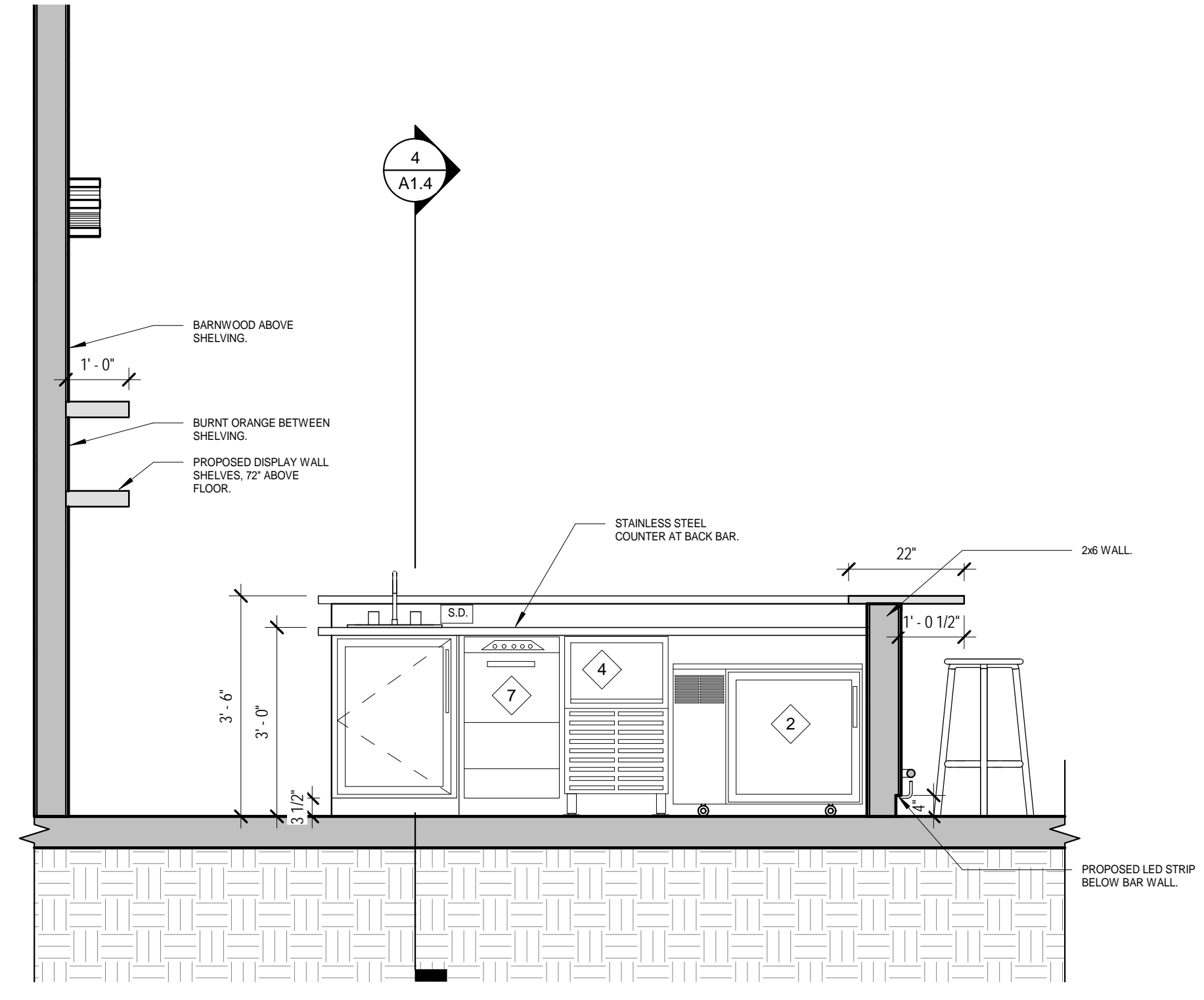


DETAIL TASTING BAR

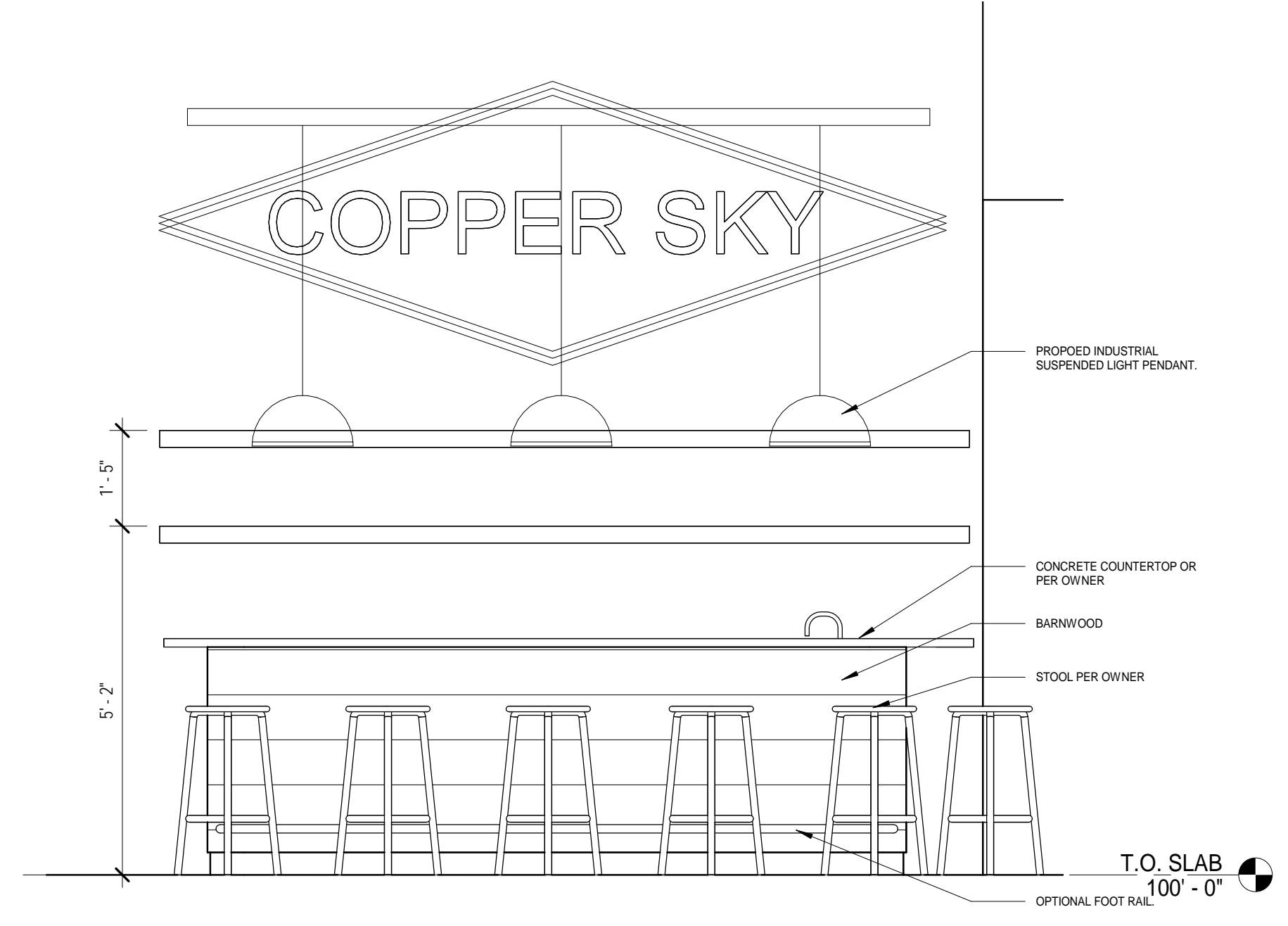
**A1.4**



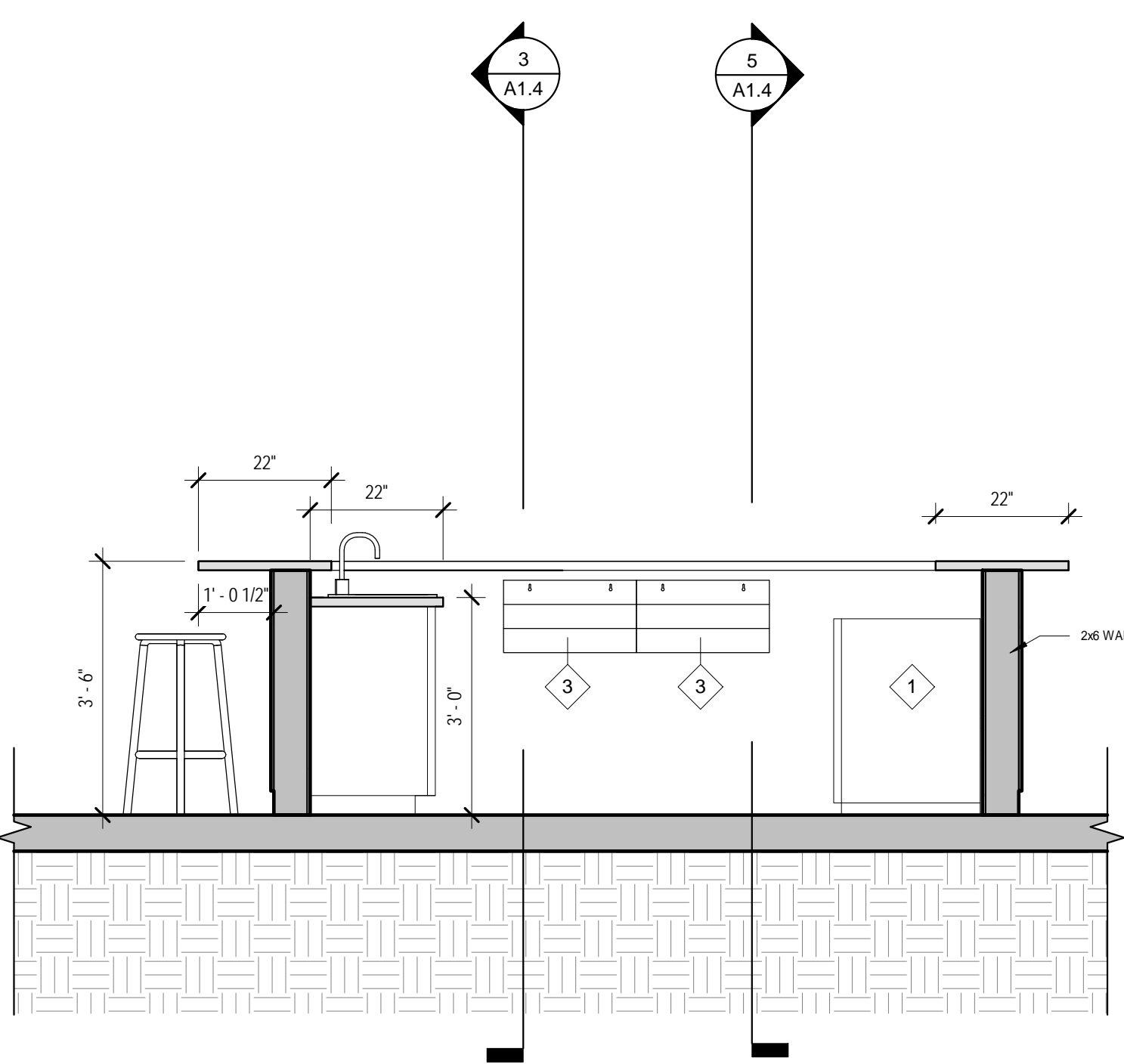
1 TASTING BAR/ DETAIL FLOOR PLAN  
1/2" = 1'-0"



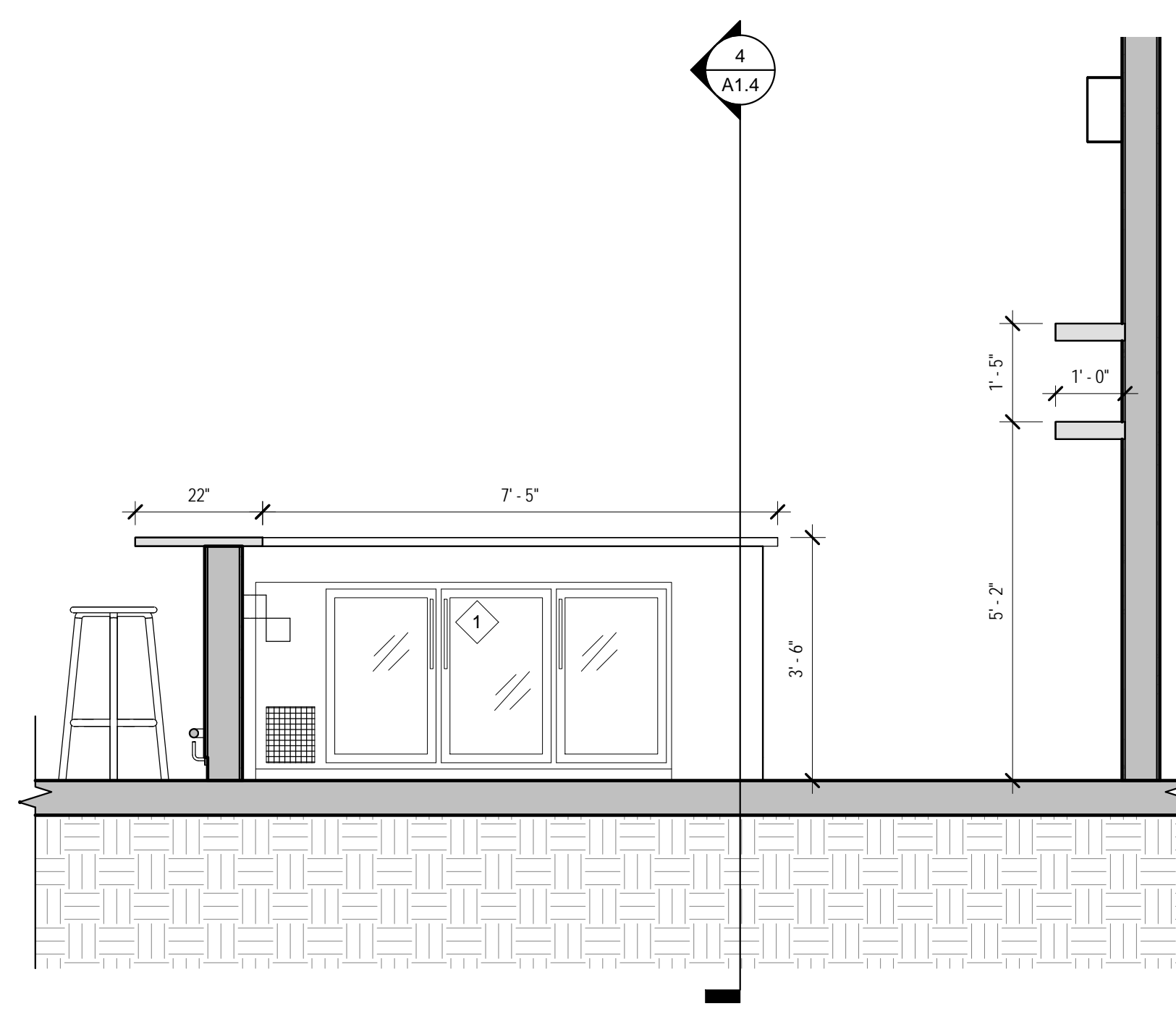
3 TASTING BAR SECTION  
1/2" = 1'-0"



2 TASTING BAR ELEVATION  
1/2" = 1'-0"



4 TASTING BAR SECTION  
1/2" = 1'-0"



5 TASTING BAR SECTION  
1/2" = 1'-0"

BAR EQUIPMENT							
(ALL EQUIPMENT TO BE VERIFIED BY OWNER)							
ITEM NUM.	EQUIPMENT NAME	QTY.	MODEL NAME/NUMBER	EQUIPMENT SIZE	MOUNTING	VOLTAGE	NOTES
1	- BAR REF. - 3 SWING DOOR	1	- TRUE/ TBB-24GAL-72G	- 71.88"W x 24.25"D x 34.25"H	- FLOOR	- 120/ 8A	- S.S. TOP W/BACKSPLASH
2	- BAR COOLER	2	- GLASTENDER/ LP36-IBS	- 36"W x 20"D x 30"H	- FLOOR	- 120/ 8A	
3	- DOUBLE TIER SPEED RAIL	3	- TBD-2SBD-N6	- 22"W x 8 1/8"D x 9 1/2"H	- WALL		
4	- ICE MAKER MACHINE	1	- #194UC120A	- 19.7"W x 23.3"D x 35.5"H	- FLOOR	- 120/11A	
5	- HAND WASH SINK	1	- REGENCY/ 600HS12SP	- 12"W x 16" D	- COUNTER		
6	- LOCKER STORAGE	9	- VERIFY DETAILS W/ OWNER	- 12"W x 12" D	- FLOOR		- LOCATE PER OWNER
7	- DISH WASHER	2	- MOTAK/DSP3	- 18.11"W x 19.92" D x 30.71" H	- FLOOR	- 208	- OWNED
8	- FLOOR SINK	3	- ZURN FD2375-NH3-H	- 12"W x 12" D	- FLOOR		

ROOM FINISH SCHEDULE							
Name	Number	Level	Area	Floor Finish	Base Finish	Ceiling Finish	Wall Finish
TASTING/BAR	101	T.O. SLAB	1630 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
DRY STORAGE	102	T.O. SLAB	781 SF	Natural	4" Black Rubber Cove Base	No Paint	Drywall/ Paint
M/RR	103	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
W/RR	104	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
UTL	105	T.O. SLAB	23 SF	Sealed	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
PRODUCTION	106	T.O. SLAB	1544 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BARREL STORAGE	107	T.O. SLAB	1195 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BREAK ROOM	108	T.O. SLAB	204 SF	Natural	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
SHARED RR	109	T.O. SLAB	94 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
SPEAK EASY BAR	110	T.O. SLAB	894 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
RETAIL	111	T.O. SLAB	100 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BOILER ROOM	112	T.O. SLAB	108 SF	Natural	4" Black Rubber Cove Base	Black Paint	N/A
OUTDOOR PATIO	113	T.O. SLAB	467 SF	No Work	N/A	N/A	N/A
T.O. SLAB: 13							
OFFICE	201	T.O. MEZZANINE	204 SF	Carpet Tile Optional	4" Black Rubber Cove Base	Black Paint	Drywall/ Pain
T.O. MEZZANINE: 1							
Grand total: 14							





Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



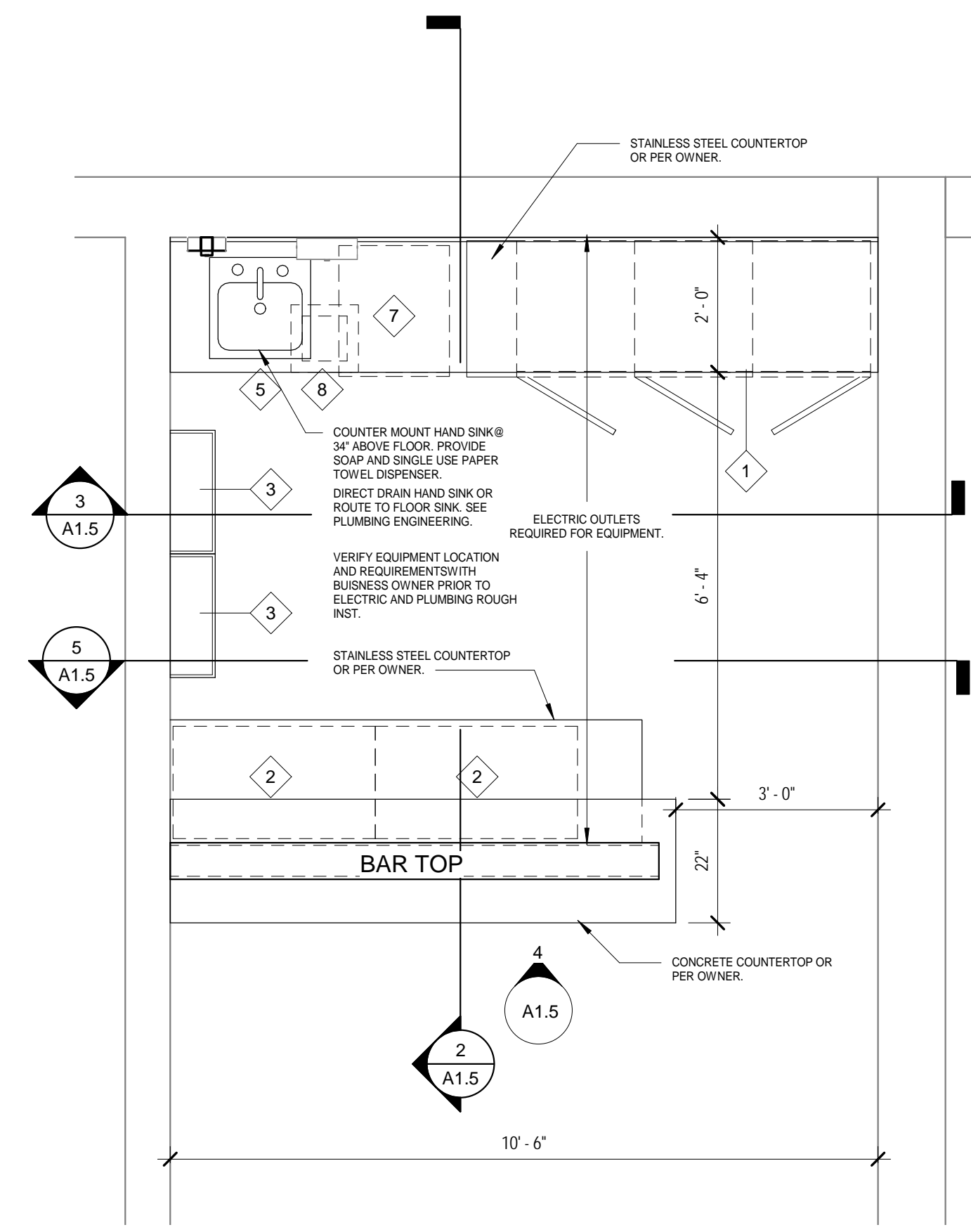
**COPPER SKY  
 DESTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 1/12/2022 2:49:30 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

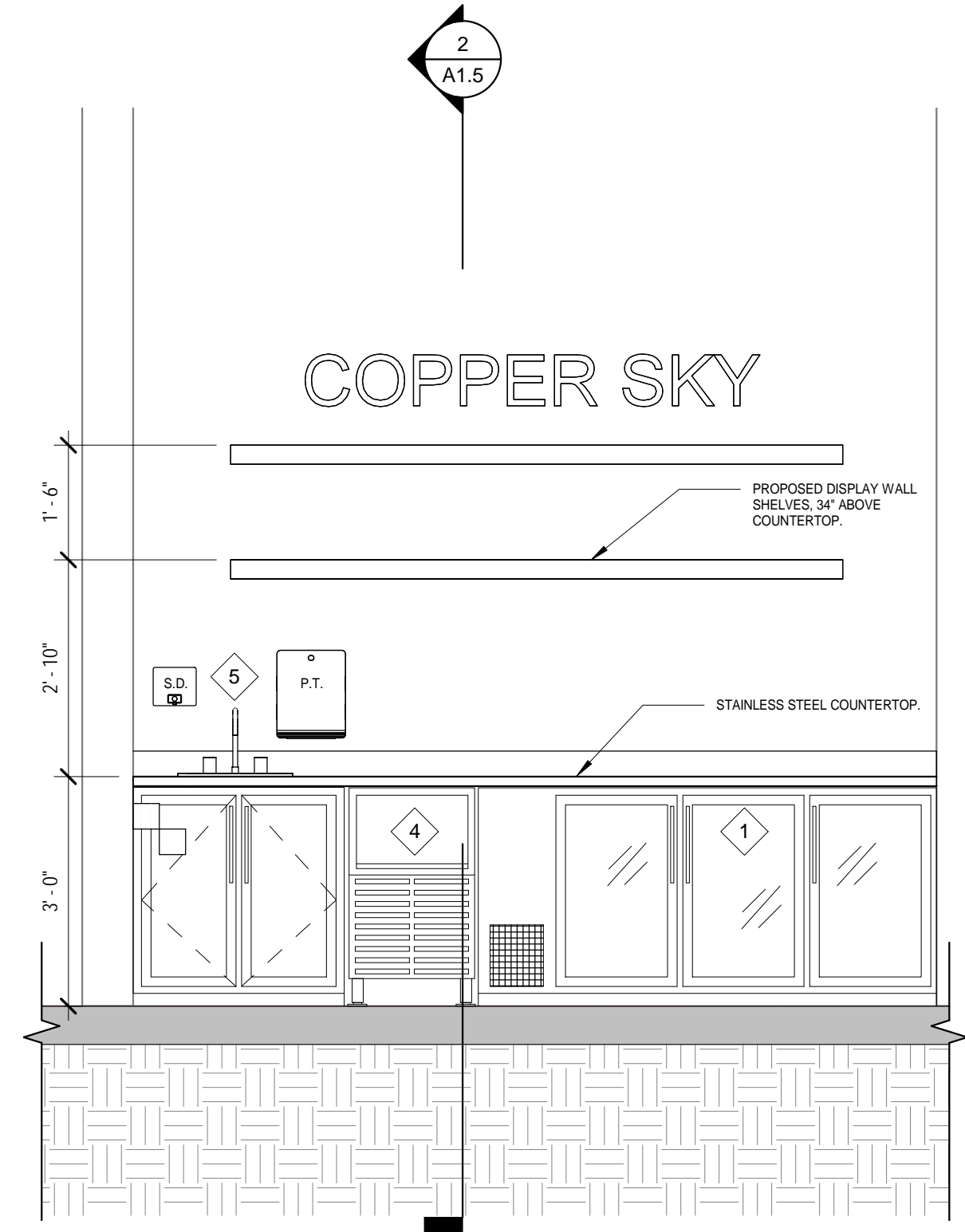
DRAN BY:	DATE:
JES/JSC	07/05/22
CHECKED BY:	DATE:
DAVID	11/30/21
REV.#:	DATE:
1	07/05/22
2	07/05/22

DETAIL SPEAK EASY BAR

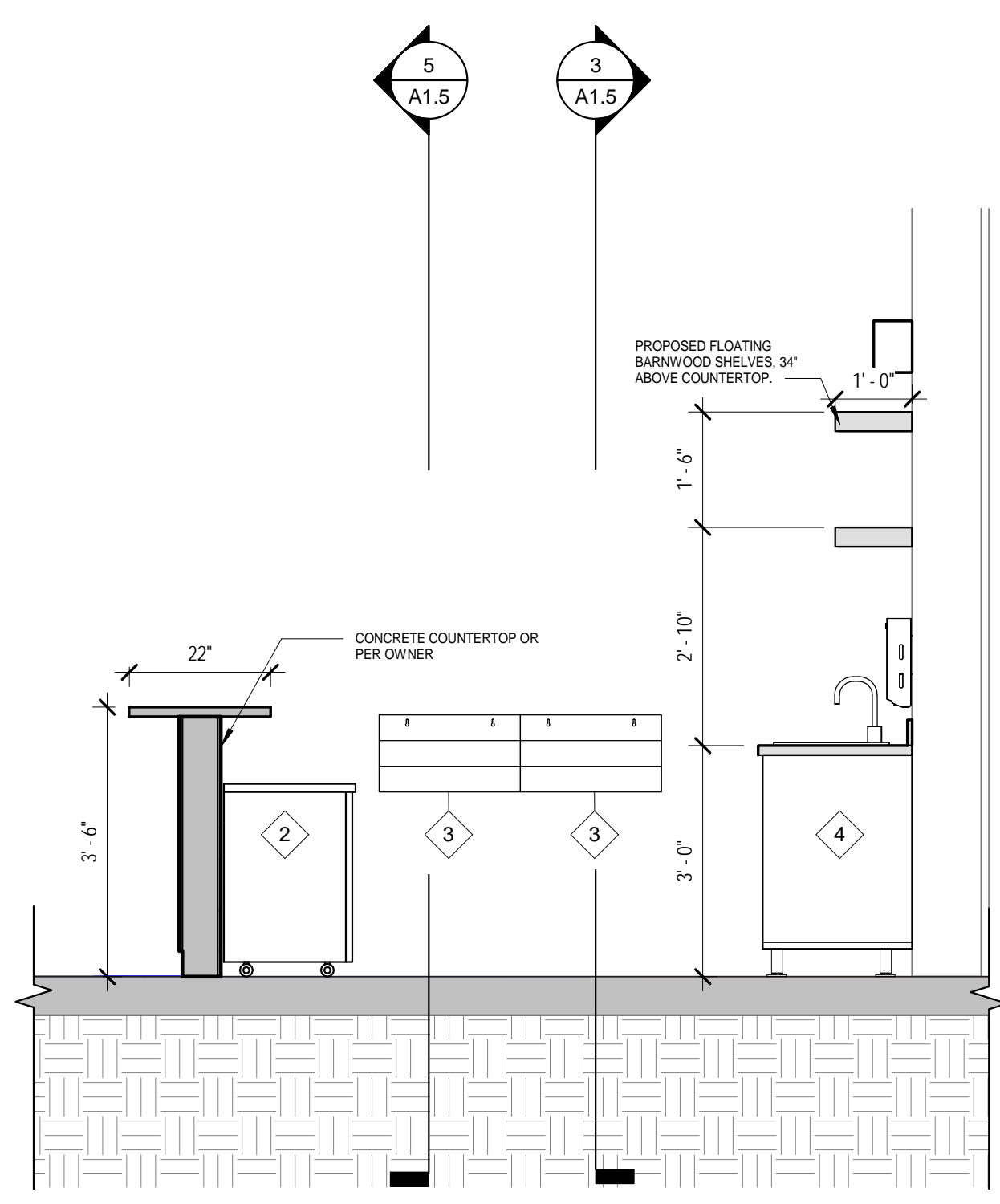
**A1.5**



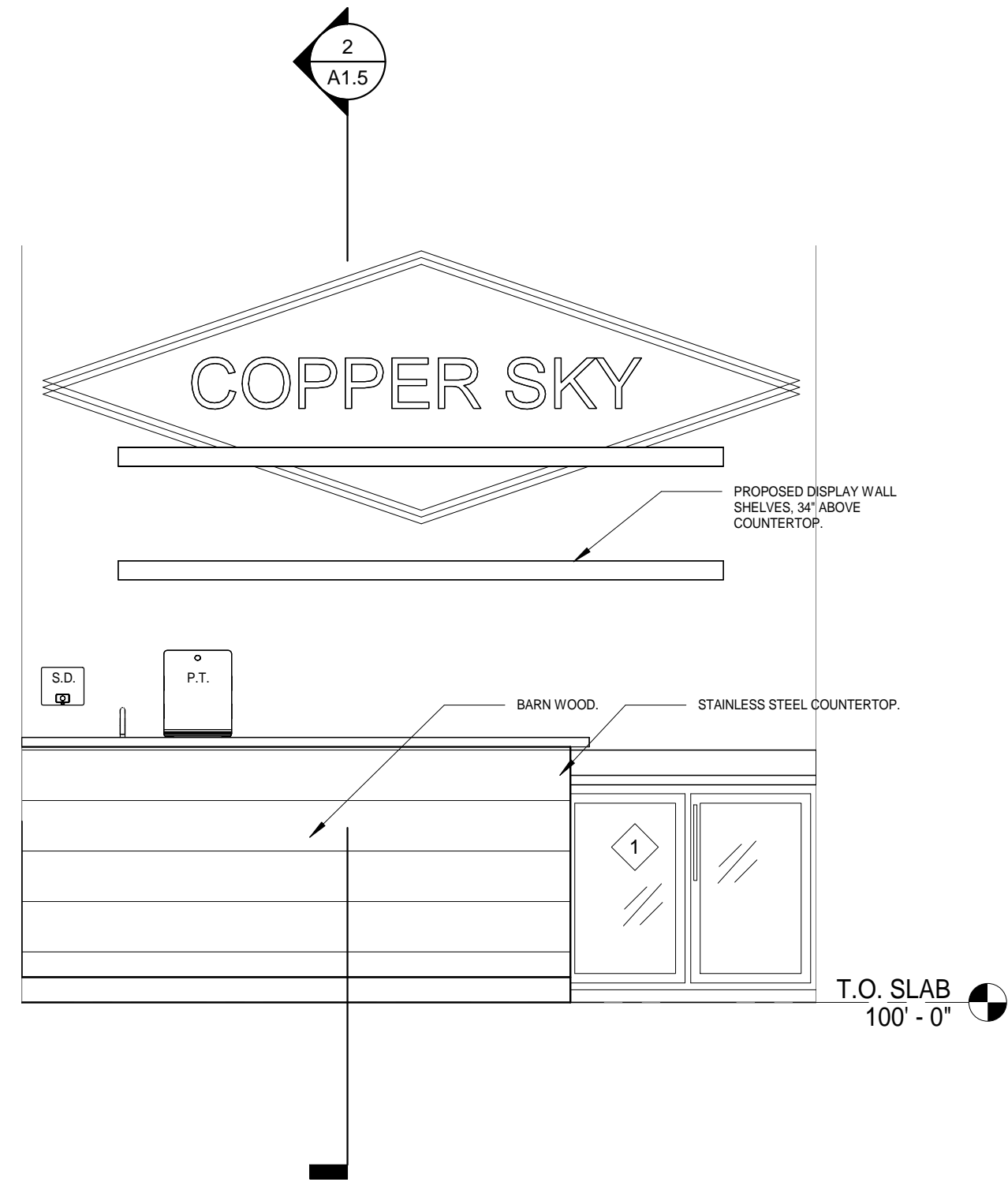
**1** SPEAK EASY BAR/ DETAIL PLAN  
 1/2" = 1'-0"



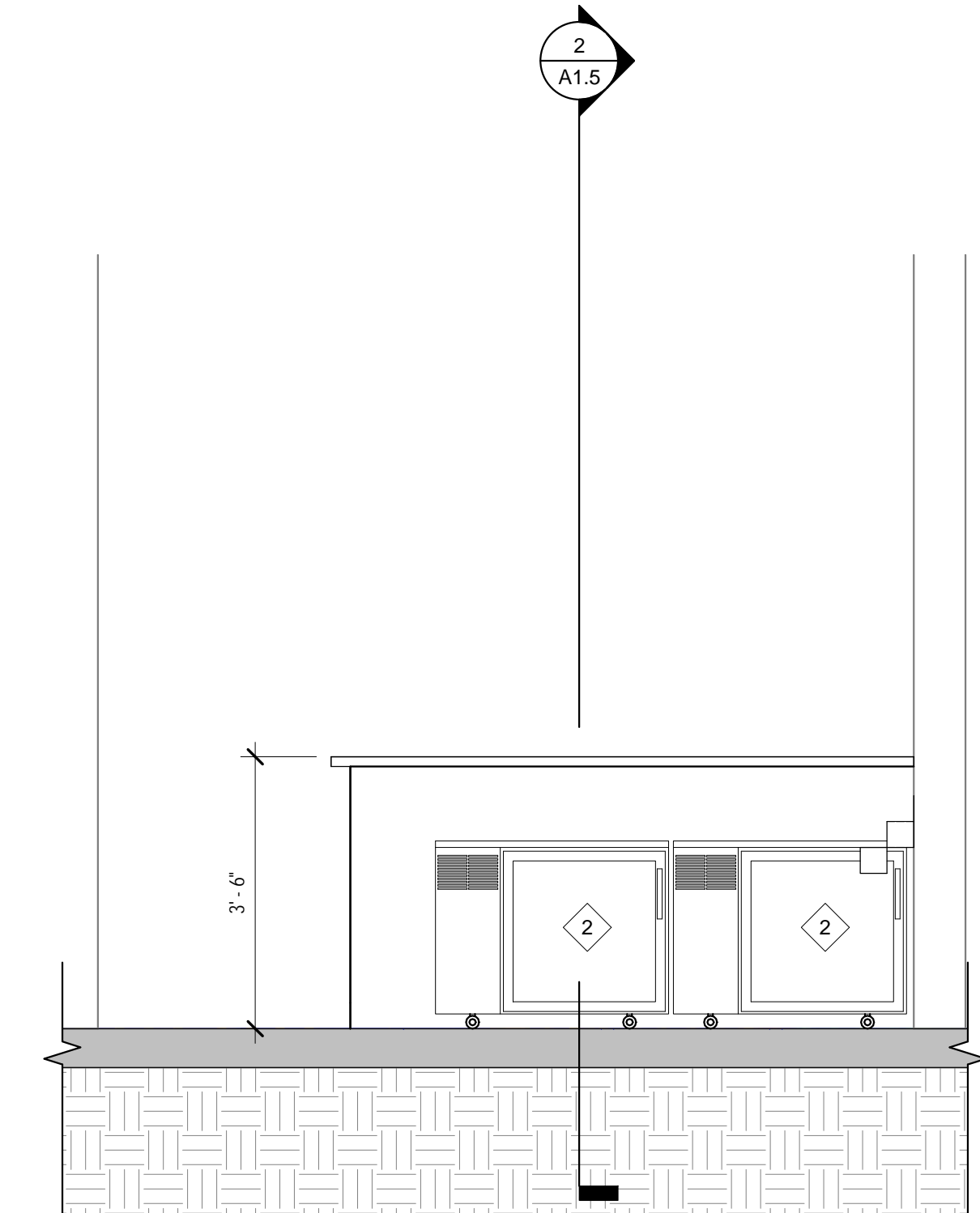
**3** SPEAK EASY BAR SECTION  
 1/2" = 1'-0"



**2** SPEAK EASY BAR SECTION  
 1/2" = 1'-0"



**4** SPEAK EASY BAR ELEVATION  
 1/2" = 1'-0"



**5** SPEAK EASY BAR SECTION  
 1/2" = 1'-0"

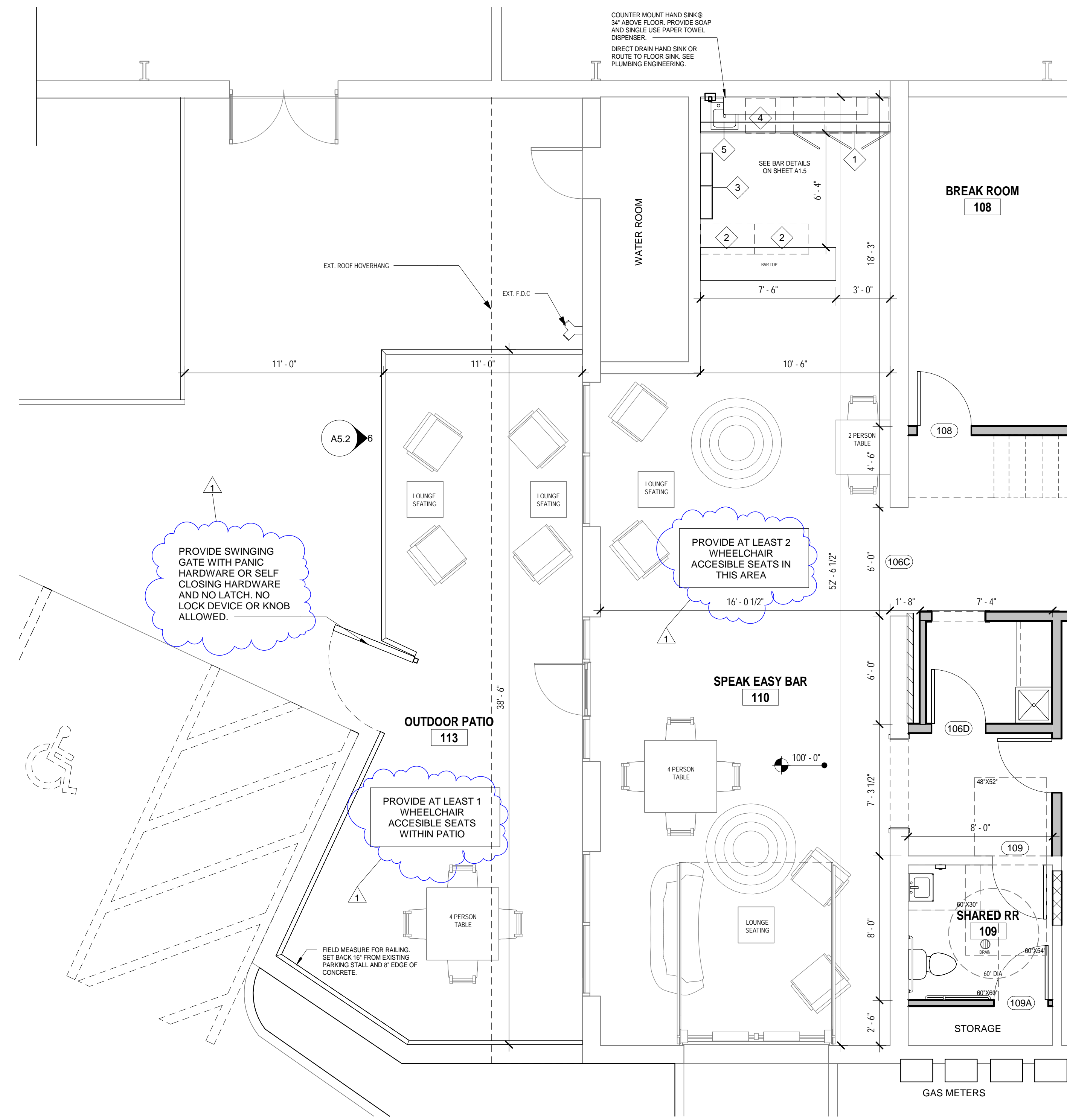
BAR EQUIPMENT							
(ALL EQUIPMENT TO BE VERIFIED BY OWNER)							
ITEM NUM.	EQUIPMENT NAME	QTY.	MODEL NAME/NUMBER	EQUIPMENT SIZE	MOUNTING	VOLTAGE	NOTES
1	- BAR REF. - 3 SWING DOOR	1	- TRUE/ TBB-24GAL-72G	- 71.88"W x 24.25"D x 34.25"H	- FLOOR	- 120/ 8A	- S.S. TOP W/BACKSPLASH
2	- BAR COOLER	2	- GLASTENDER/ LP36-IBS	- 36"W x 20"D x 30"H	- FLOOR	- 120/ 8A	
3	- DOUBLE TIER SPEED RAIL	3	- TBD-2SBD-N6	- 22"W x 8 1/8"D x 30"H	- WALL		
4	- ICE MAKER MACHINE	1	- #194UC120A	- 19.7"W x 23.3"D x 35.5"H	- FLOOR	- 120/11A	
5	- HAND WASH SINK	1	- REGENCY/ 600HS12SP	- 12"W x 16" D	- COUNTER		
6	- LOCKER STORAGE	9	- VERIFY DETAILS W/ OWNER	- 12"W x 12" D	- FLOOR		- LOCATE PER OWNER
7	- DISH WASHER	2	- MOTAK/DSP3	- 18.11"W x 19.92" D x 30.71" H	- FLOOR	- 208	- OWNED
8	- FLOOR SINK	3	- ZURN FD2375-NH3-H	- 12"W x 12" D	- FLOOR		

ROOM FINISH SCHEDULE							
Name	Number	Level	Area	Floor Finish	Base Finish	Ceiling Finish	Wall Finish
TASTING/BAR	101	T.O. SLAB	1630 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
DRY STORAGE	102	T.O. SLAB	781 SF	Natural	4" Black Rubber Cove Base	No Paint	Drywall/ Paint
M/RR	103	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
W/RR	104	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
UTL	105	T.O. SLAB	23 SF	Sealed	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
PRODUCTION	106	T.O. SLAB	1544 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BARREL STORAGE	107	T.O. SLAB	1195 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BREAK ROOM	108	T.O. SLAB	204 SF	Natural	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
SHARED RR	109	T.O. SLAB	94 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
SPEAK EASY BAR	110	T.O. SLAB	894 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
RETAIL	111	T.O. SLAB	100 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BOILER ROOM	112	T.O. SLAB	108 SF	Natural	4" Black Rubber Cove Base	Black Paint	N/A
OUTDOOR PATIO	113	T.O. SLAB	467 SF	No Work	N/A	N/A	N/A
T.O. SLAB: 13							
OFFICE	201	T.O. MEZZANINE	204 SF	Carpet Tile Optional	4" Black Rubber Cove Base	Black Paint	Drywall/ Pain
T.O. MEZZANINE: 1							
Grand total:			14				

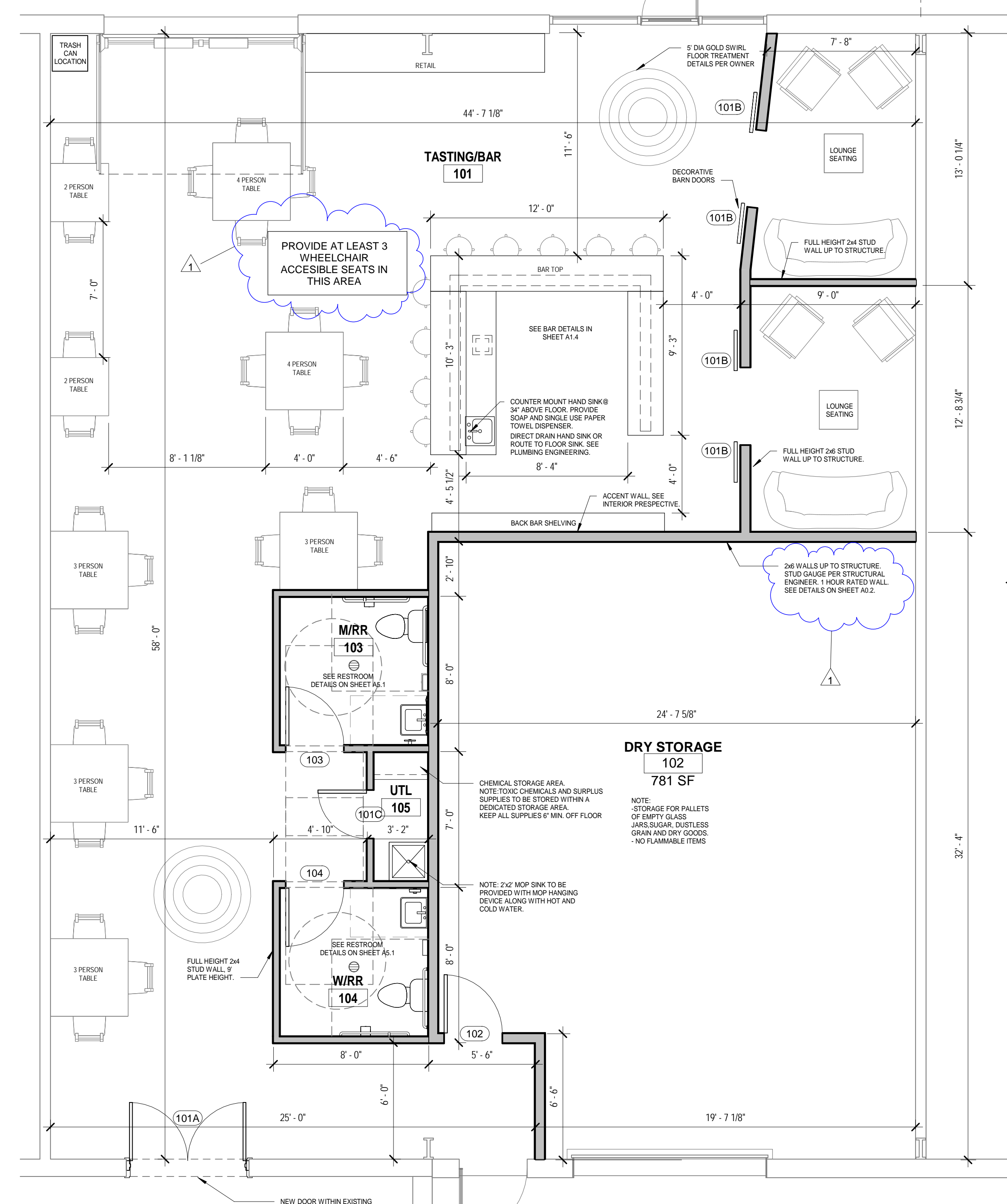
NOTE: PROVIDE BID ALTERNATE TO PROVIDE STAINED AND SPLIP RESISTANCE CLEAR COAT OVER CONCRETE FLOOR WITHIN TASTING ROOM AND SPEAKEASY. BASE BID TO BE NO WORK TO EXISTING CONCRETE FLOORS WHERE NATURAL FLOOR FINISH IS NOTED.







1 SPEAK EASY BAR/SITTING LAYOUT  
1/4" = 1'-0"



2 TASTING BAR/ SITTING LAYOUT  
1/4" = 1'-0"

DOOR SCHEDULE						
Level	Mark	Type	Width	Height	Comments	Fire Rating
Exterior						
T.O. SLAB						
T.O. SLAB	106B	B	9'-0"	9'-0"	Provide Electric Opener	without
T.O. SLAB	107	A	3'-0"	7'-0"	Includes Panic Hardware	3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	113A	A	3'-0"	7'-0"	Lock set hardware	3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	113B	A	3'-0"	7'-0"	Lock set hardware	3/4 HR Rated/ With Automatic Closing Device
Interior						
T.O. SLAB						
T.O. SLAB	101A	D	6'-0"	8'-0"	Electronic Keypad	without
T.O. SLAB	101B	F	2'-0"	8'-0"	Black Barn Door Hardware	without
T.O. SLAB	101B	F	2'-0"	8'-0"	Black Barn Door Hardware	without
T.O. SLAB	101B	F	2'-0"	8'-0"	Black Barn Door Hardware	without
T.O. SLAB	101B	F	2'-0"	8'-0"	Black Barn Door Hardware	without
T.O. SLAB	101C	E	2'-6"	7'-0"	Lock set hardware	without
T.O. SLAB	102	E	3'-0"	7'-0"	Electronic Keypad	without
T.O. SLAB	103	E	3'-0"	7'-0"	Privacy Hardware	without
T.O. SLAB	104	E	3'-0"	7'-0"	Privacy Hardware	without
T.O. SLAB	106A	C	6'-0"	8'-0"	Includes Panic Hardware	3/4 HR Rated/ With Automatic Closing Device
T.O. SLAB	106C	G	6'-0"	8'-0"	Passage Hardware	without
T.O. SLAB	106D	E	3'-0"	7'-0"	Passage Hardware	without
T.O. SLAB	108	E	3'-0"	7'-0"	Passage Hardware	without
T.O. SLAB	109	E	3'-0"	7'-0"	Privacy Hardware	without
T.O. SLAB	109A	E	3'-0"	7'-0"	Lock set hardware	without
T.O. SLAB	110	A	3'-0"	7'-0"	Includes Panic Hardware	1 1/2 HR Rated/ With Automatic Closing Device
T.O. MEZZANINE						
T.O. MEZZANINE	201	E	3'-0"	7'-0"	Lock set hardware	without
Interior: 17						
Grand total: 21						

WINDOW SCHEDULE						
Level	TAG	Type	COUNT	WIDTH	HEIGHT	COMMENTS
T.O. SLAB	A	FXD	2	5'-0"	5'-0"	3/4 hr Rated Fire Window
	B	FXD	4	3'-0"	3'-0"	
Grand total: 6						

ROOM FINISH SCHEDULE							
Name	Number	Level	Area	Floor Finish	Base Finish	Ceiling Finish	Wall Finish
TASTING/BAR	101	T.O. SLAB	1630 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
DRY STORAGE	102	T.O. SLAB	781 SF	Natural	4" Black Rubber Cove Base	No Paint	Drywall/ Paint
M/RR	103	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
W/RR	104	T.O. SLAB	65 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
UTL	105	T.O. SLAB	23 SF	Sealed	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
PRODUCTION	106	T.O. SLAB	1544 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BARREL STORAGE	107	T.O. SLAB	1195 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BREAK ROOM	108	T.O. SLAB	204 SF	Natural	4" Black Rubber Cove Base	White Paint	Drywall/ Paint
SHARED RR	109	T.O. SLAB	94 SF	Sealed	4" Black Rubber Cove Base	White Paint	Tile/Paint
SPEAK EASY BAR	110	T.O. SLAB	894 SF	Natural	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
RETAIL	111	T.O. SLAB	100 SF	Sealed	4" Black Rubber Cove Base	Black Paint	Drywall/ Paint
BOILER ROOM	112	T.O. SLAB	108 SF	Natural	4" Black Rubber Cove Base	Black Paint	N/A
OUTDOOR PATIO	113	T.O. SLAB	467 SF	No Work	N/A	N/A	N/A
T.O. SLAB: 13							
OFFICE	201	T.O. MEZZANINE	204 SF	Carpet Tile Optional	4" Black Rubber Cove Base	Black Paint	Drywall/ Pain
T.O. MEZZANINE: 1							
Grand total: 14							



Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP. ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

**ASHER ARCHITECTS**

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



**COPPER SKY DISTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 11/2/2022 2:49:33 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

DESIGNED BY:	DATE:
DRAWN BY:	07/05/22
CHECKED BY:	DATE:
DAVID	11/30/21
REV.#:	DATE:
1	07/05/22
BY:	Big. Dept. Comm.

**LSE BUILDERS GROUP**  
 FURNITURE DETAIL  
**A1.6**





Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



**COPPER SKY DISTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

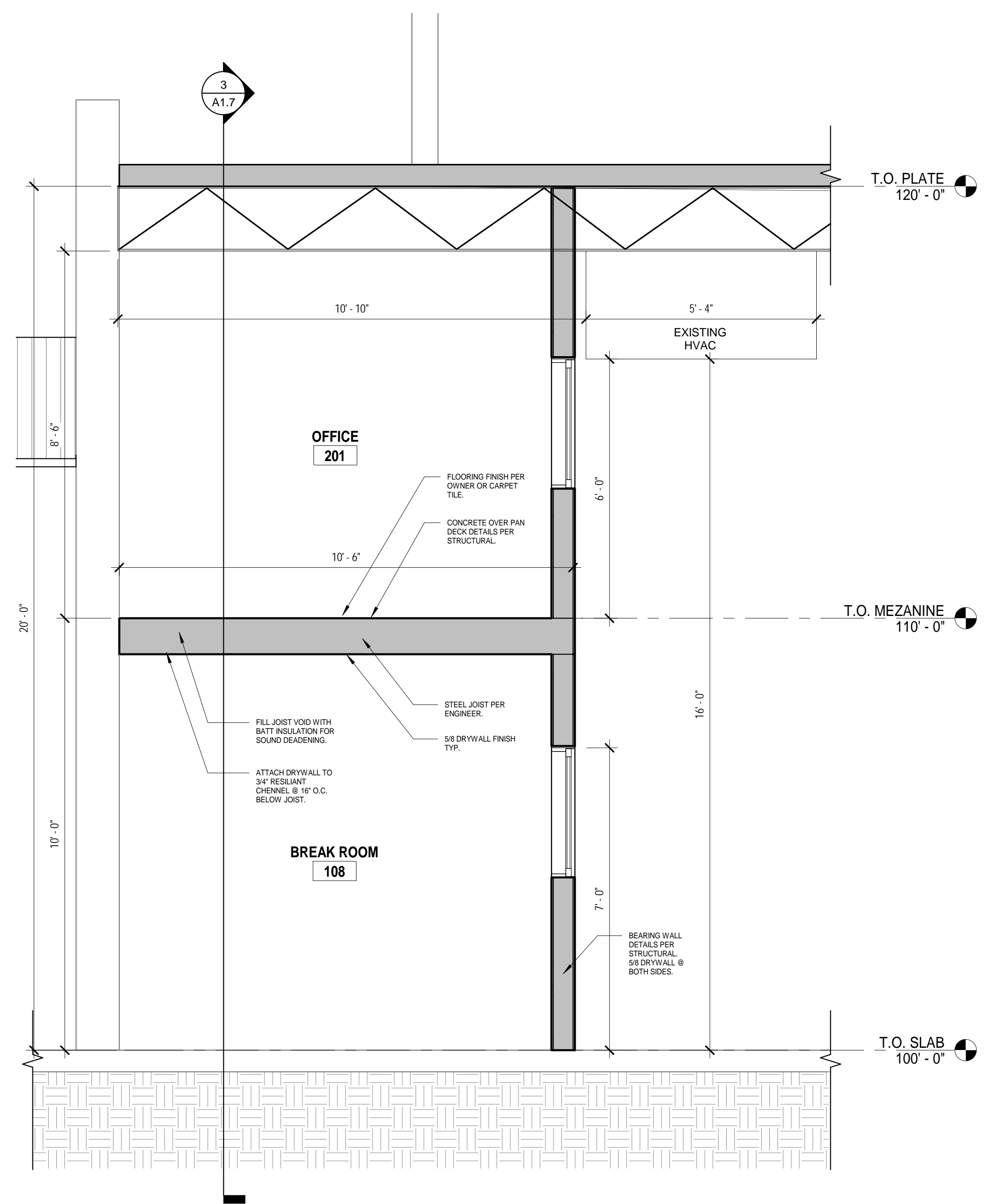
PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 1/12/2022 2:49:34 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

DATE	BY	REVISION
07/05/22	Jessie C.	DATE
11/30/21	DAVID	CHECKED BY
07/05/22	DAVID	DATE
		REV. #
		COMMENTS
		07/05/22 Big. Dept. Comm.

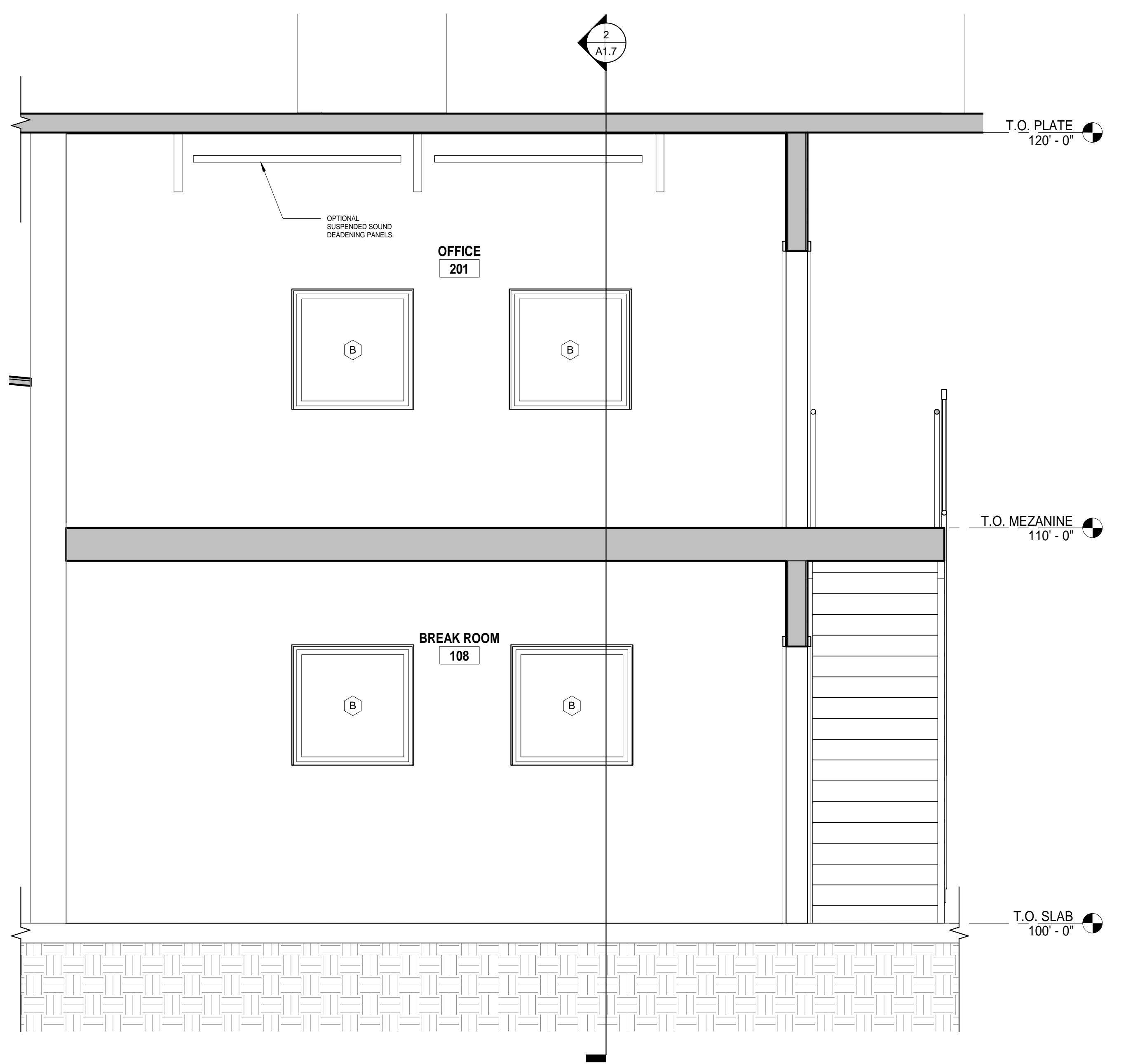


OFFICE/  
 MEZZANINE  
 DETAIL

## A1.7

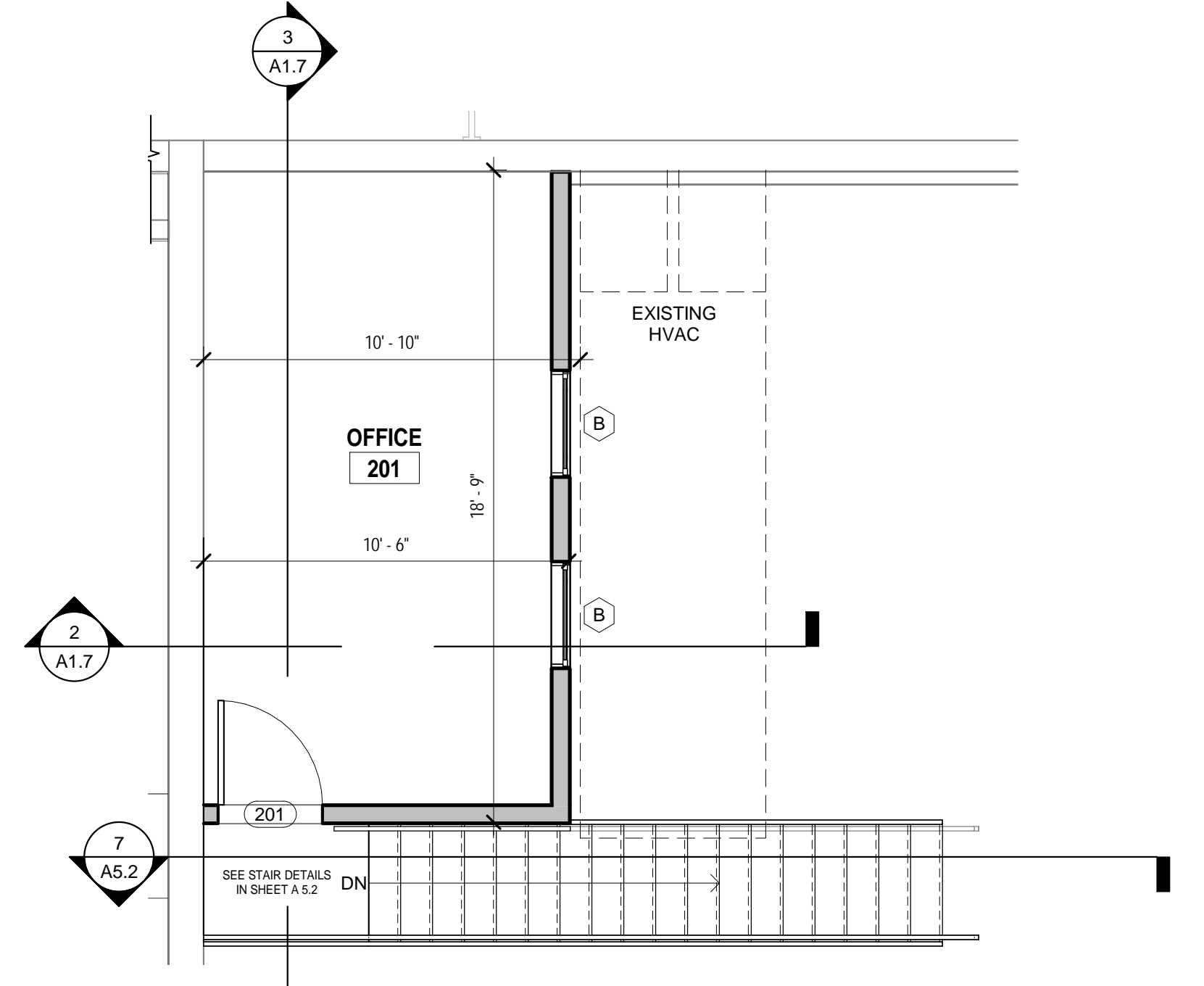


**2** OFFICE/MEZZANINE SECTION  
 1/2" = 1'-0"



**3** OFFICE/MEZZANINE SECTION  
 1/2" = 1'-0"

WINDOW SCHEDULE						
Level	TAG	Type	COUNT	WIDTH	HEIGHT	COMMENTS
T.O. SLAB	A	FXD	2	5'-0"	5'-0"	3/4 hr Rated Fire Window
<varies>	B	FXD	4	3'-0"	3'-0"	
Grand total:			6			



**1** PROPOSED OFFICE/MEZZANINE DETAIL PLAN  
 1/4" = 1'-0"





Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



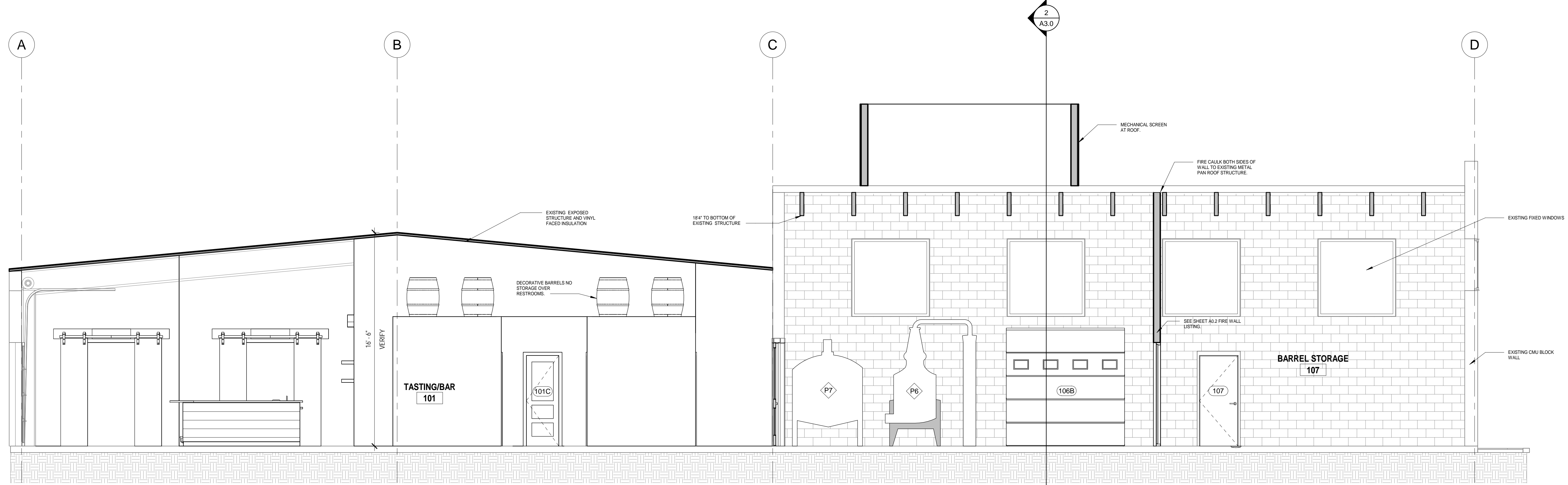
**COPPER SKY DISTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 1/12/2022 2:49:37 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

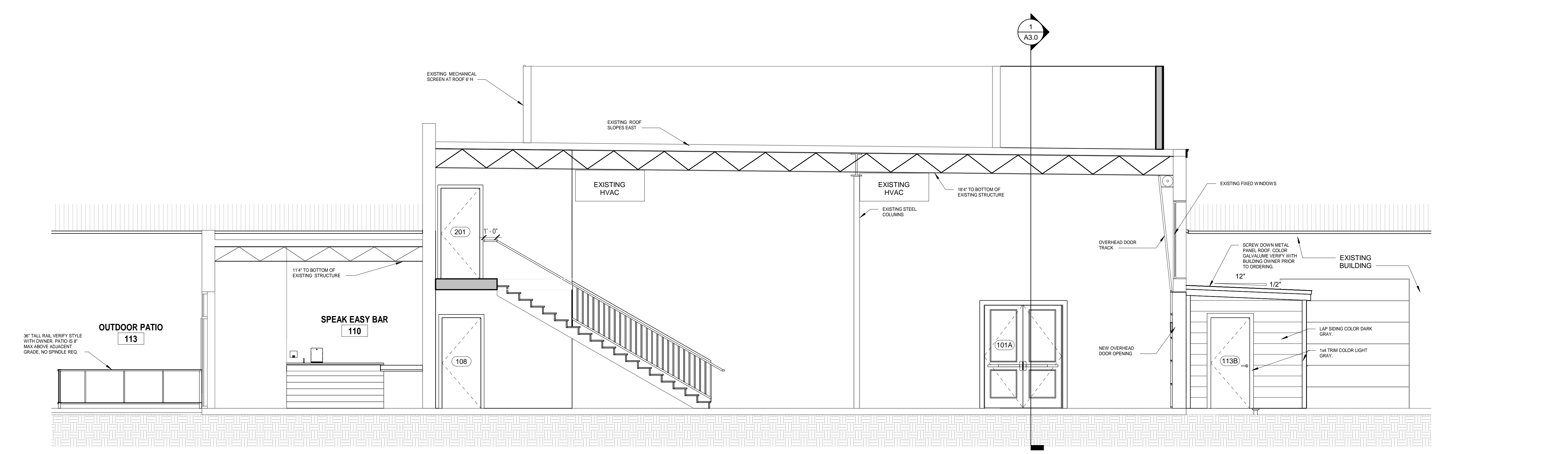
DATE	BY	REVISION
07/05/22	JESUS C.	DATE
11/30/21	DAVID	CHECKED BY
07/05/22	DAVID	DATE
		REV. #
		COMMENTS
		1. 07/05/22 Big. Dept. Comm.



SECTIONS  
**A3.0**



**1 BUILDING SECTION**  
 1/4" = 1'-0"



**2 BUILDING SECTION**  
 1/4" = 1'-0"





Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

**ASHER ARCHITECTS**

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



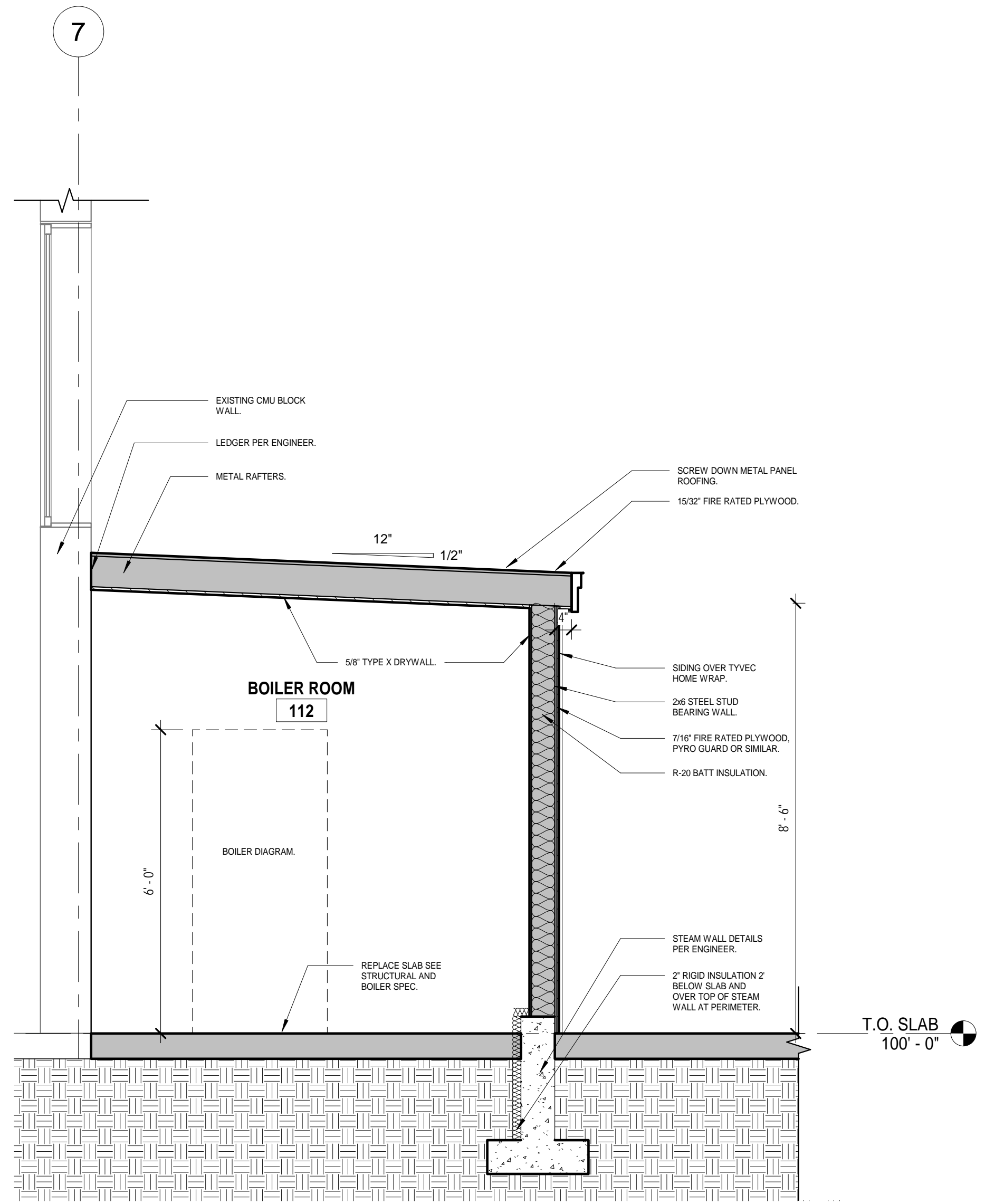
**COPPER SKY DISTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 1/12/2022 2:49:46 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

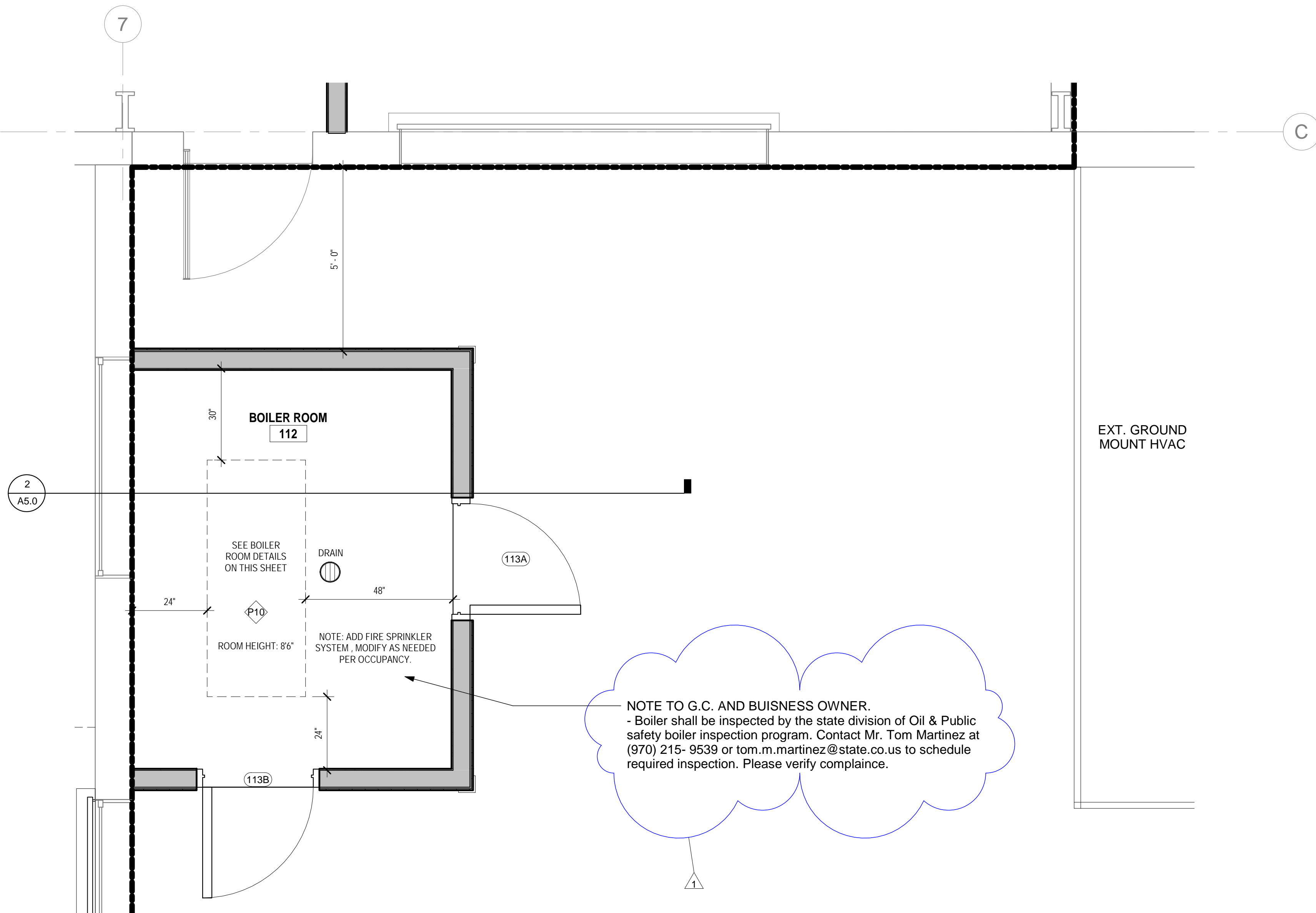
DATE	BY	DATE	BY	DATE	BY
07/05/22	JCS	07/05/22	JCS	07/05/22	JCS
11/30/21	JCS	11/30/21	JCS	11/30/21	JCS
07/05/22	JCS	07/05/22	JCS	07/05/22	JCS

**LSE BUILDERS GROUP**  
 BOILER ROOM DETAILS

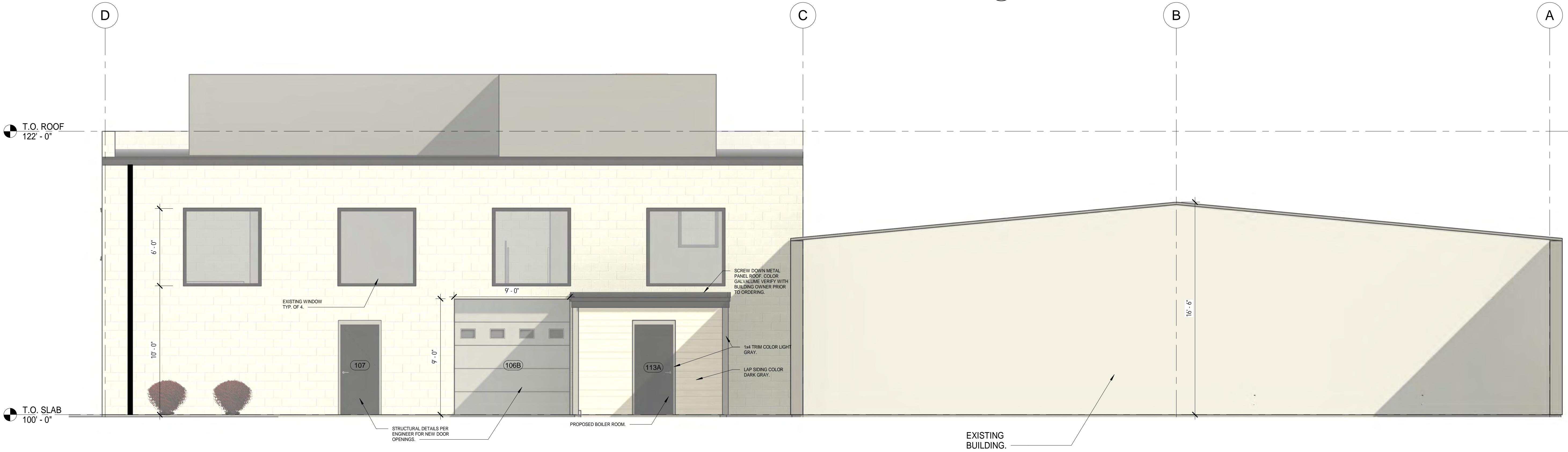
**A5.0**



**2 BOILER ROOM SECTION**  
 1/2" = 1'-0"



**1 BOILER ROOM DETAIL PLAN**  
 1/2" = 1'-0"



**3 EAST ELEVATION DETAIL**  
 1/4" = 1'-0"





Approved January 11, 2022

© ASHER ARCHITECTS B.CORP. ALL RIGHTS RESERVED. This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
BERTHOUD CO. 80513  
p: 970-532-9970  
w: AsherArch.com  
e: David@AsherArch.com

FOR CONSTRUCTION



## COPPER SKY DISTILLERY

110 Emery Street  
Longmont, CO 80501

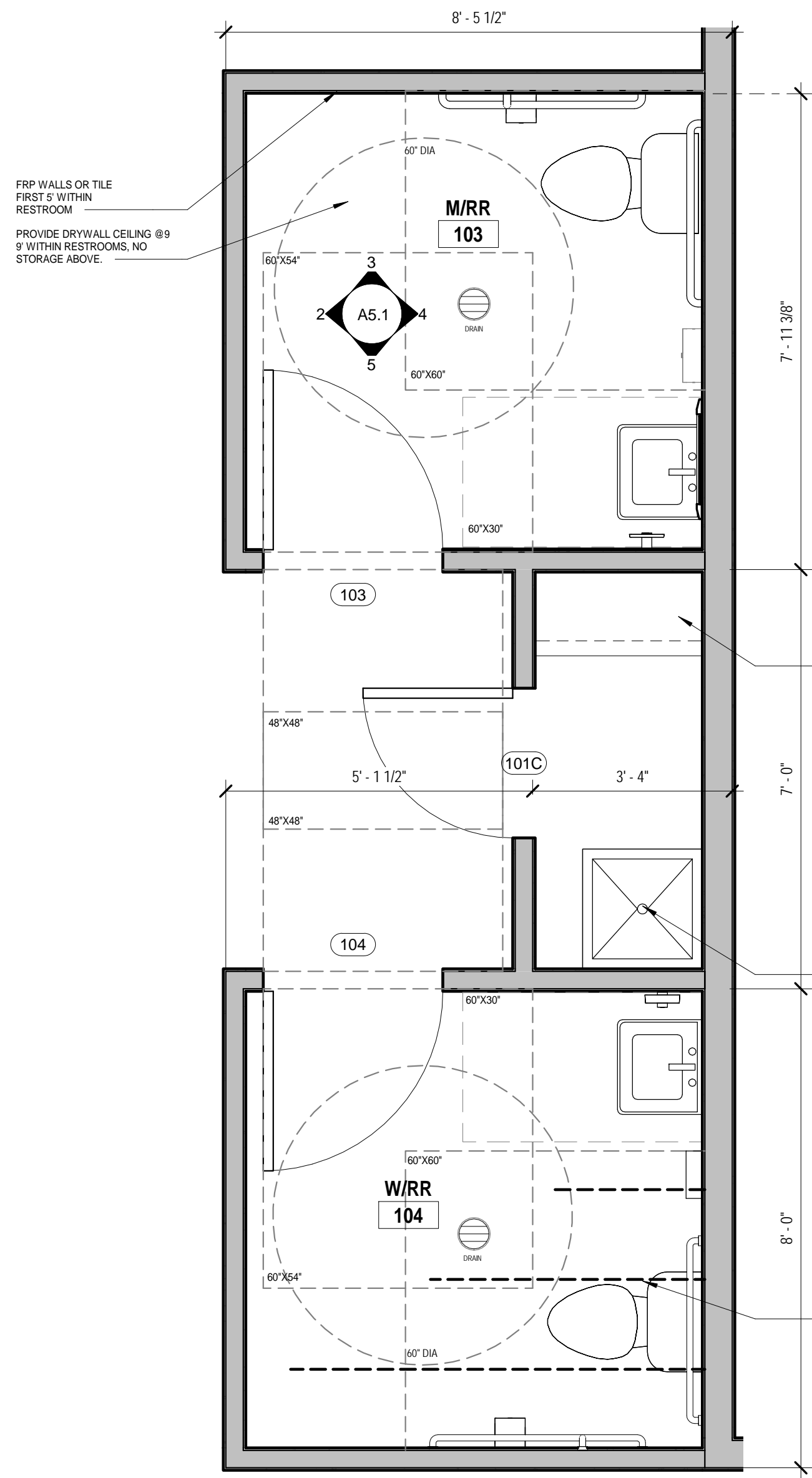
PROJECT INFORMATION:  
21-C26  
DOCUMENT DATE:  
1/12/2022 2:49:49 PM  
DOCUMENT PHASE:  
CONSTRUCTION DOCUMENTS

DATE	07/05/22
DESIGNED BY	JESUS C.
CHECKED BY	DAVID
DATE	11/30/21
REV.#	1
DATE	07/05/22
COMMENTS	Big Dept. Comm.



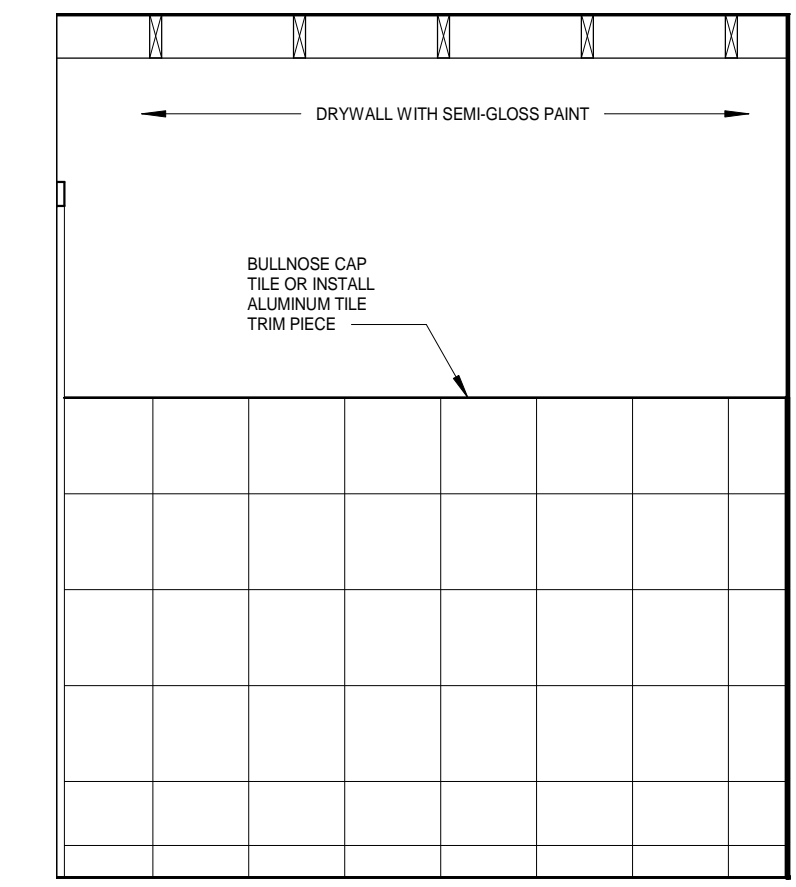
ADA RESTROOMS / RCP DETAILS

### A5.1



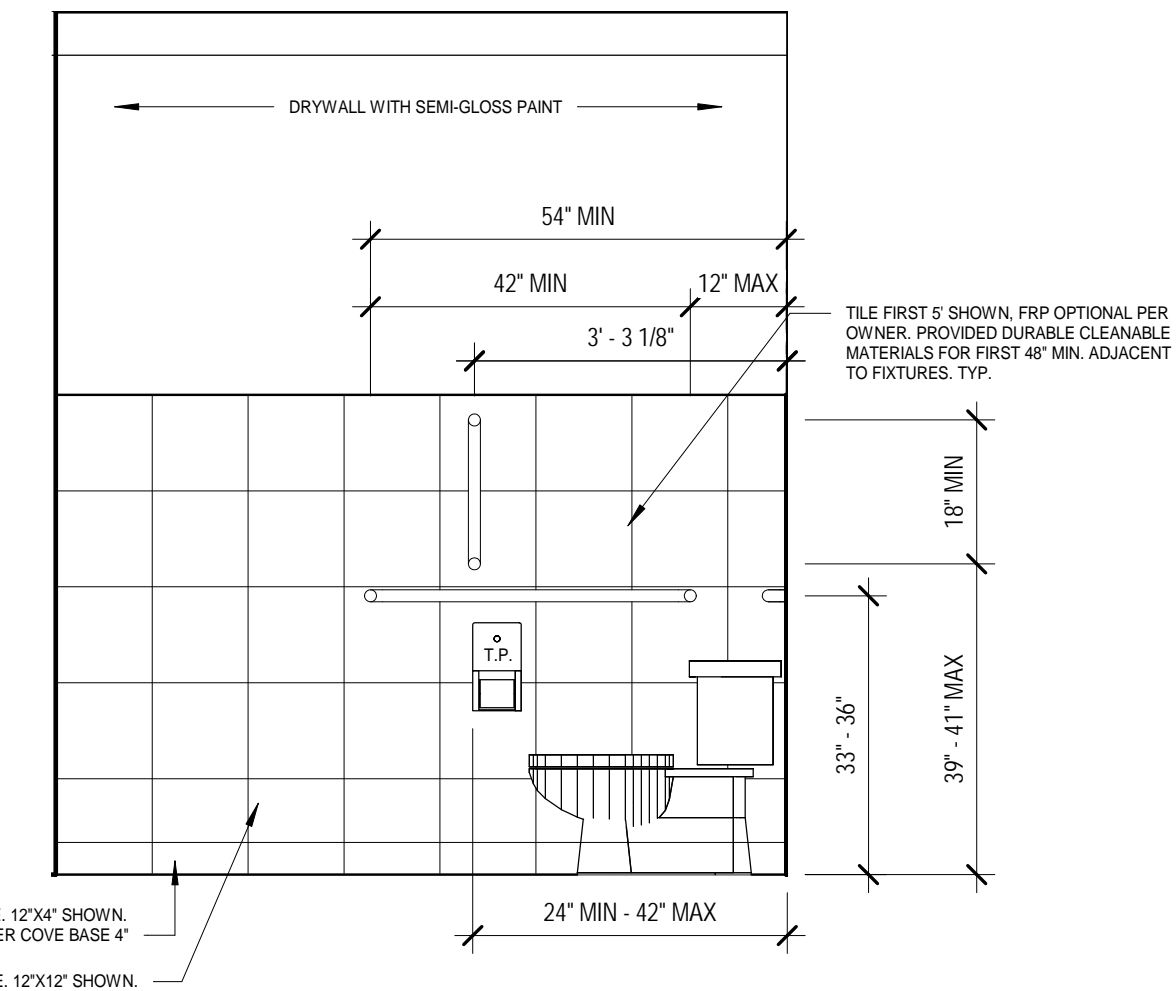
### 1 ADA RESTROOM DETAILS

1/2" = 1'-0"



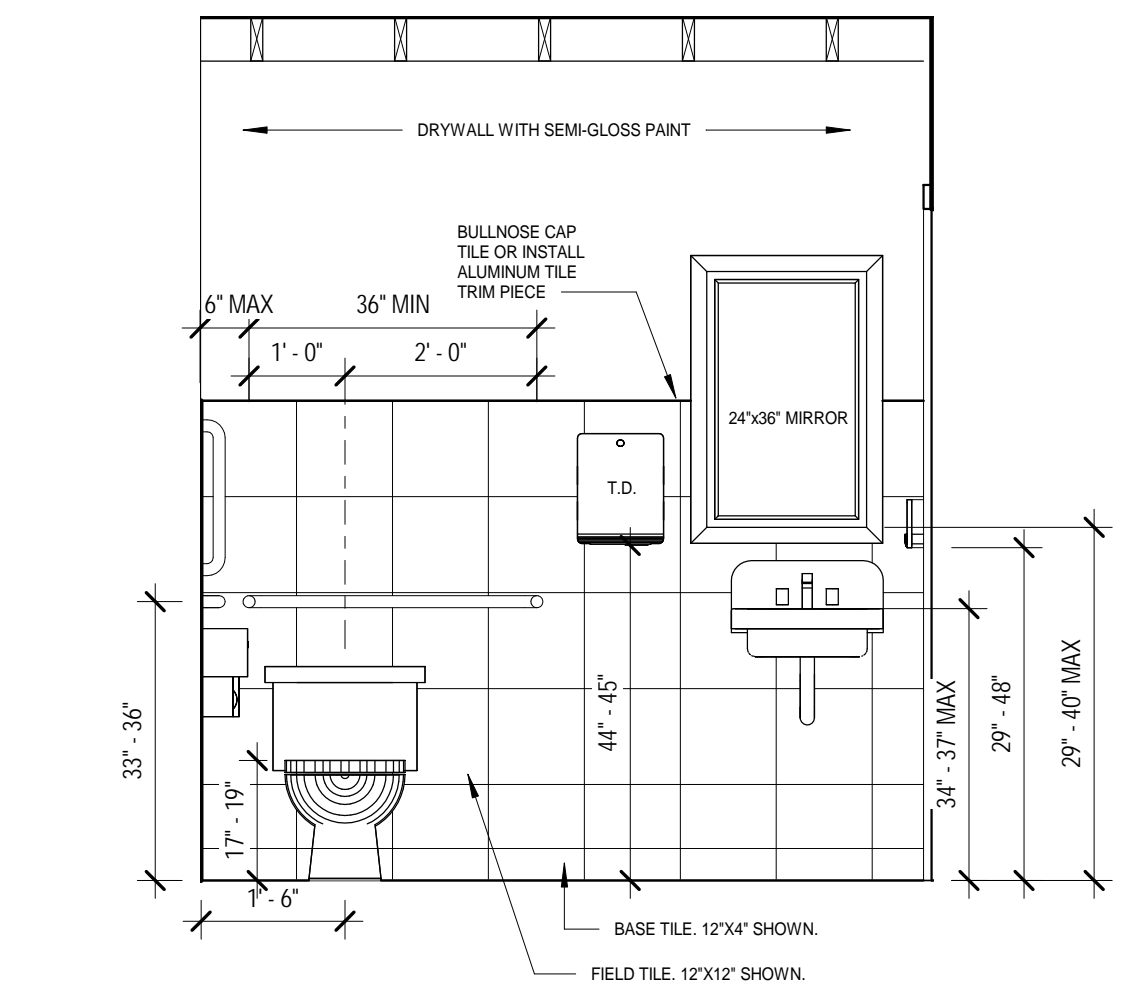
### 2 ELEVATION

1/2" = 1'-0"



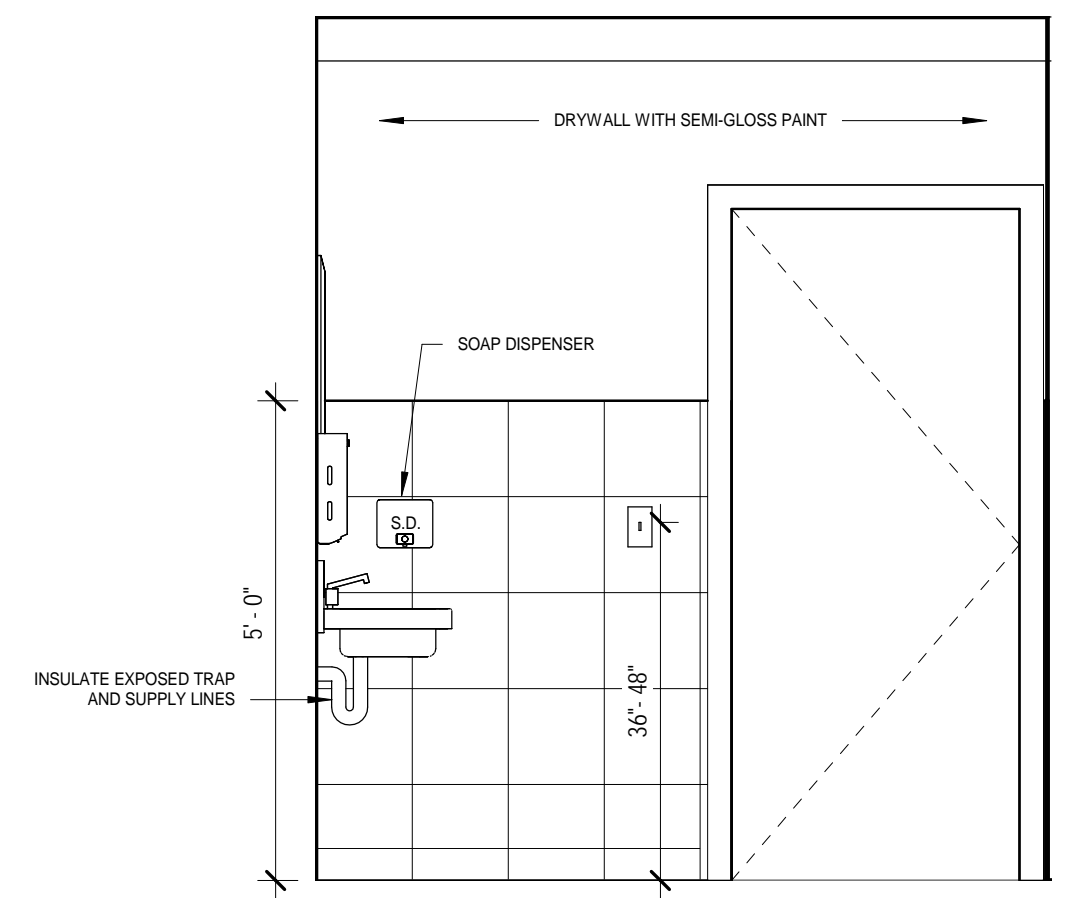
### 3 ELEVATION

1/2" = 1'-0"



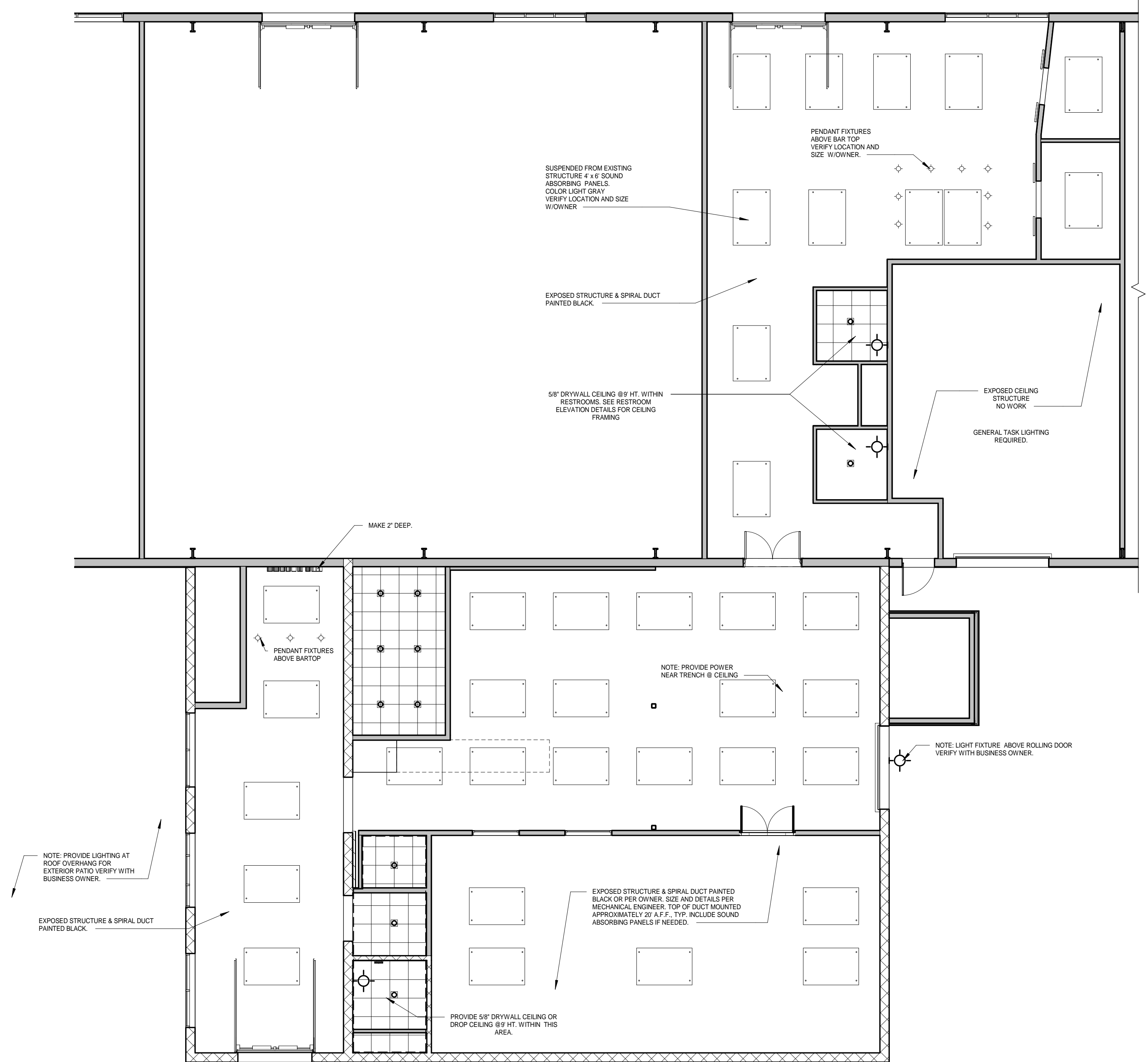
### 4 ELEVATION

1/2" = 1'-0"



### 5 ELEVATION

1/2" = 1'-0"

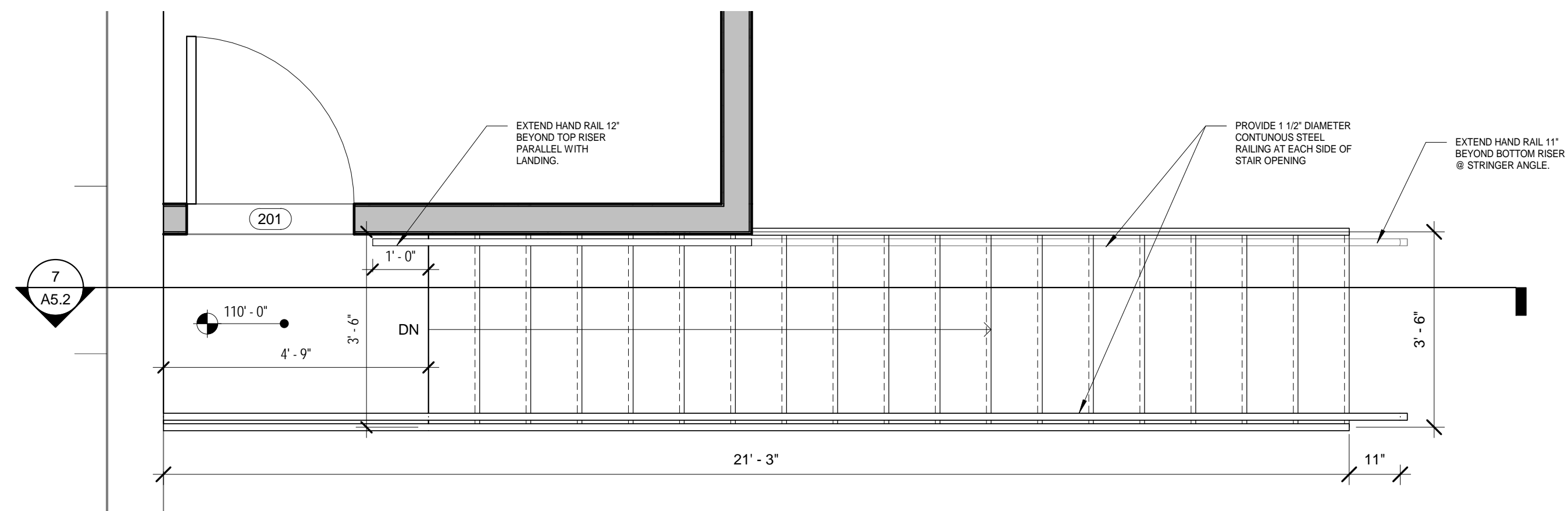


### 6 RCP PLAN

1/8" = 1'-0"

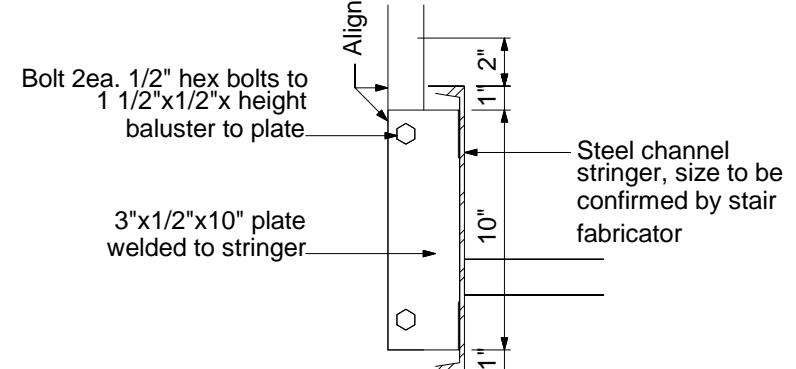
NOTE: LIGHTING LAYOUT IS GENERAL AND GENERIC IN NATURE. ELECTRICAL ENGINEERS DRAWINGS TAKE PRECEDENCE. CONFIRM EXACT FIXTURE TYPE AND STYLE WITH BUSINESS OWNER PRIOR TO PURCHASING. ELECTRICAL CONTRACTOR TO VERIFY ALL MOUNTING LOCATIONS AND HEIGHTS WITH BUSINESS OWNER.



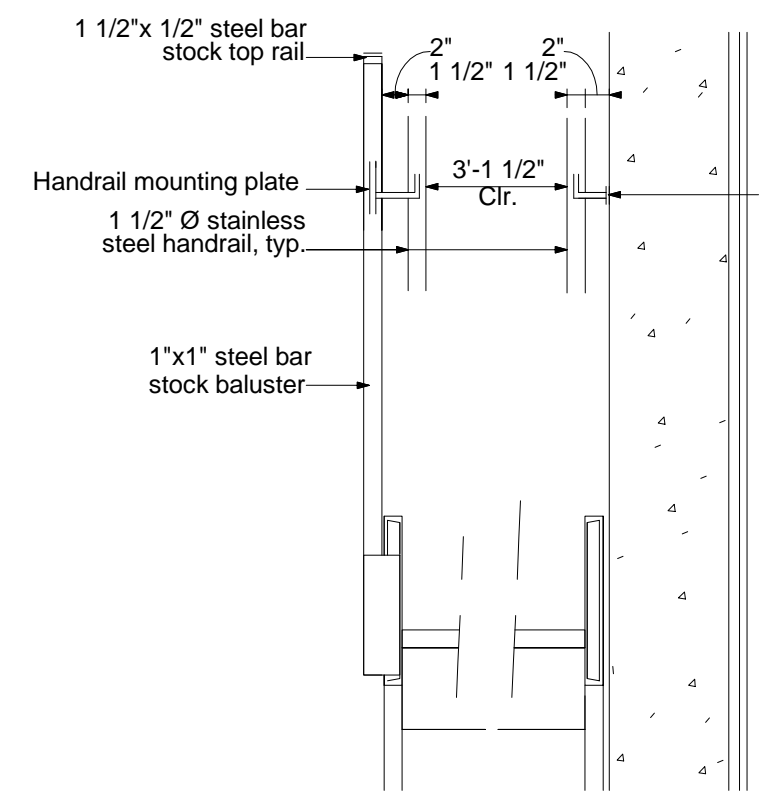


1 STAIR DETAIL PLAN  
1/2" = 1'-0"

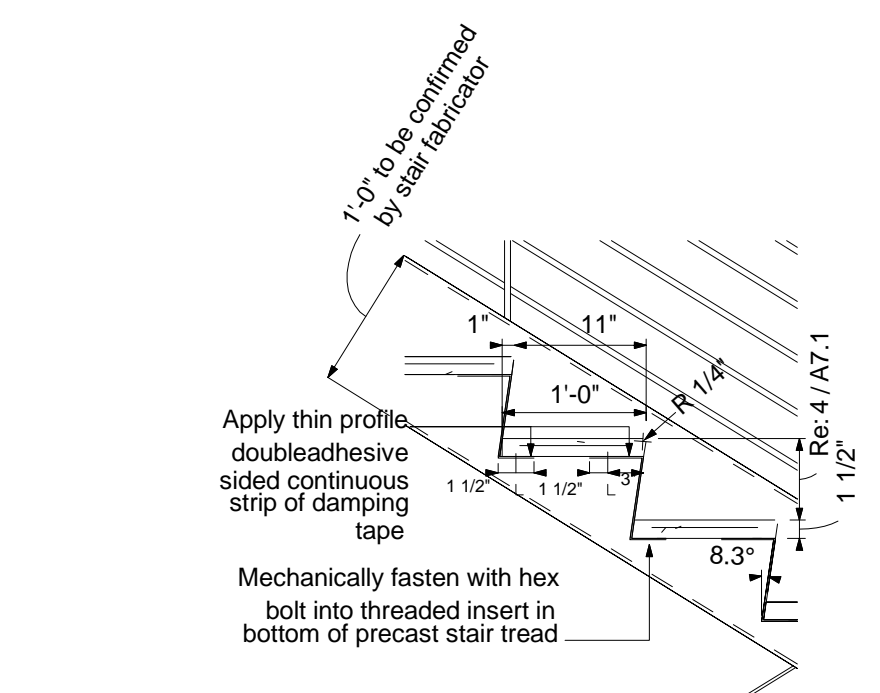
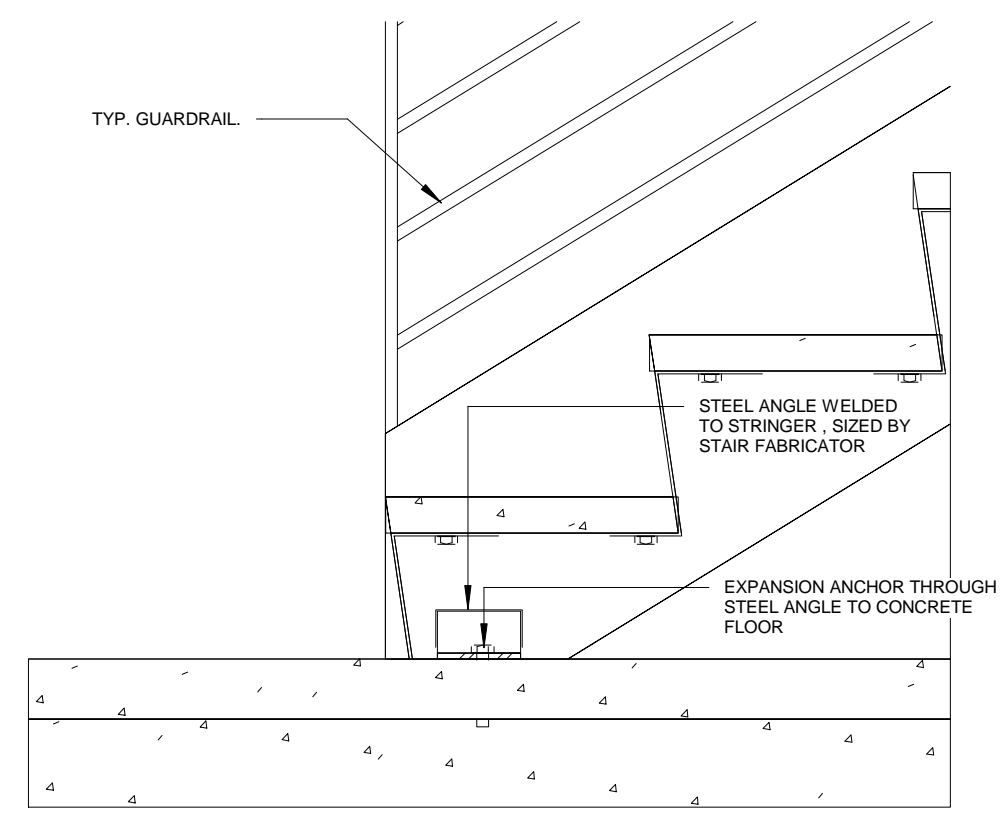
2 TYP. BALUSTER SUPPORT PLATE  
1/2" = 1'-0"



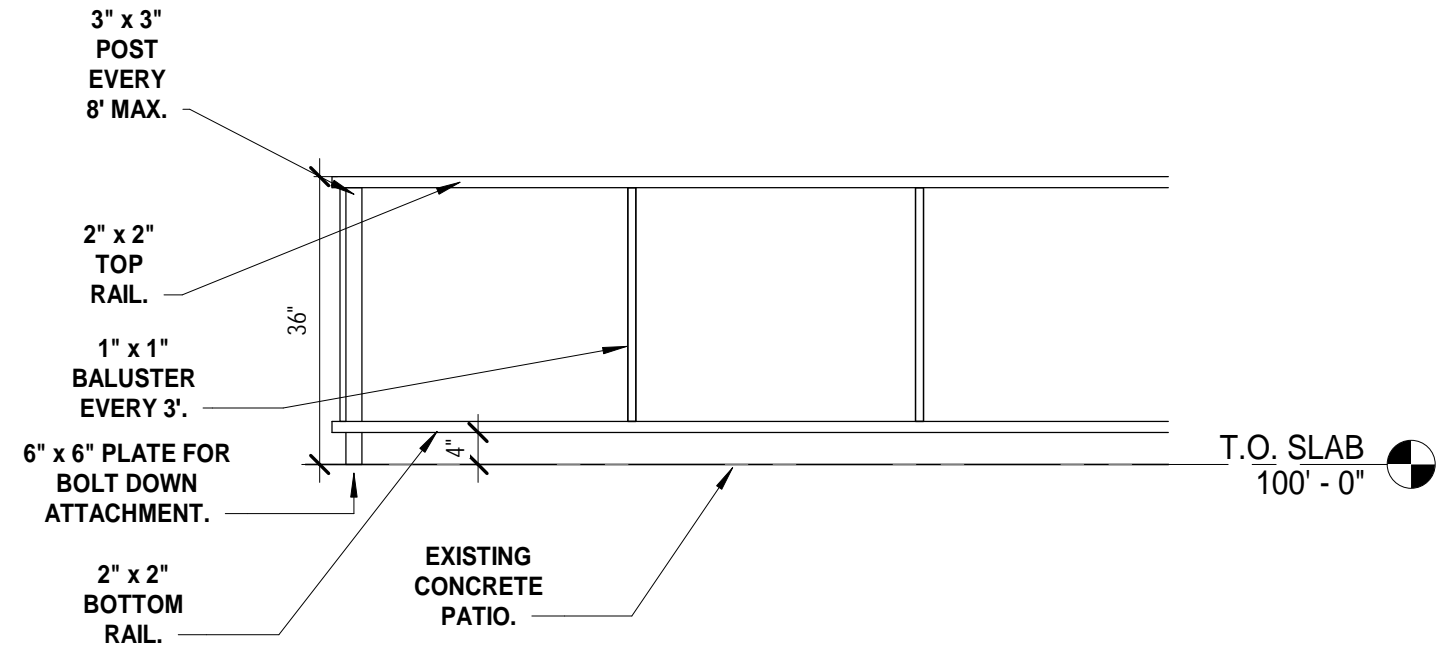
3 TYP. STAIR GUARD SECTION  
1/2" = 1'-0"



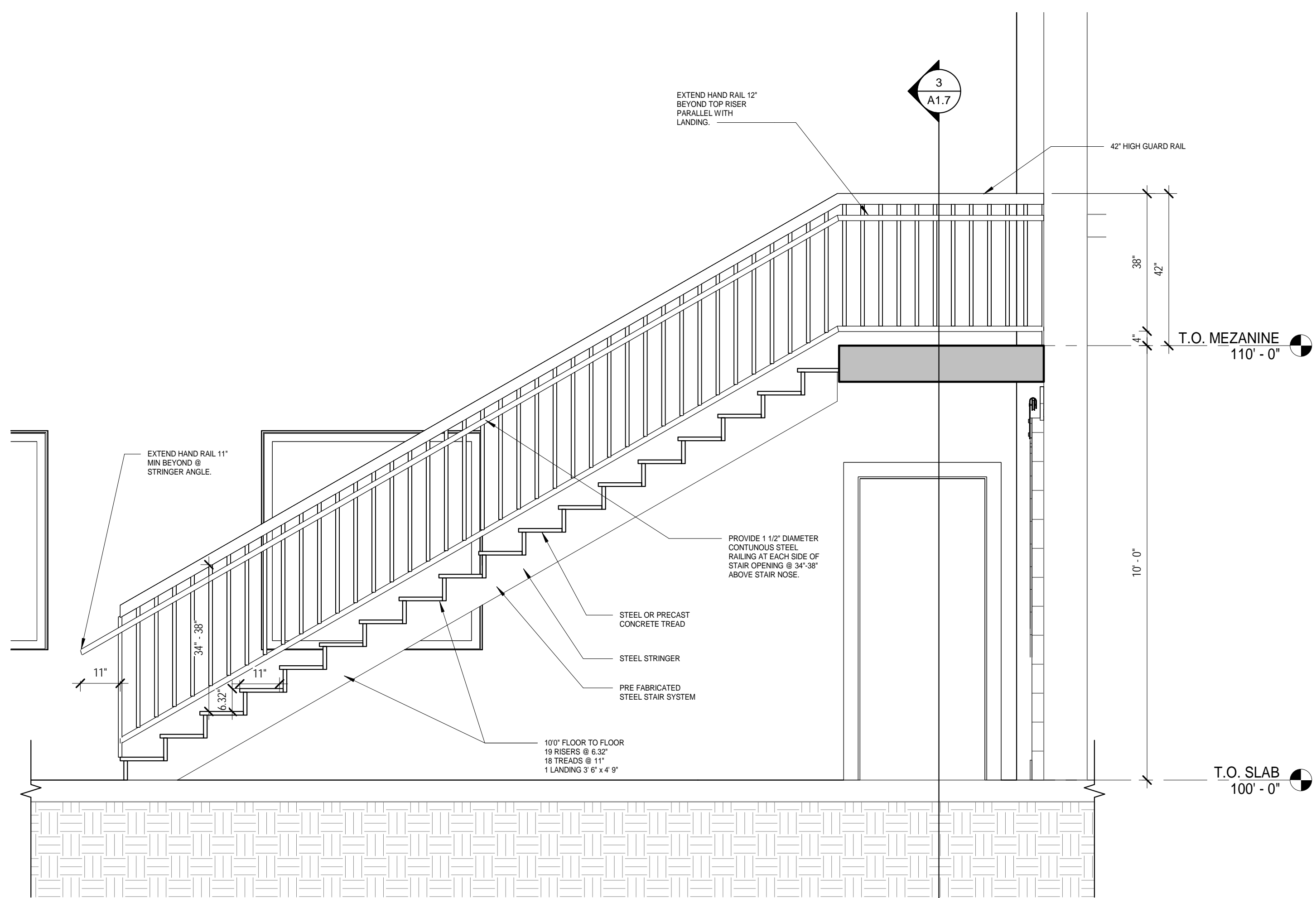
4 STAIR SECTION GRADE LEVEL DETAIL  
1/2" = 1'-0"



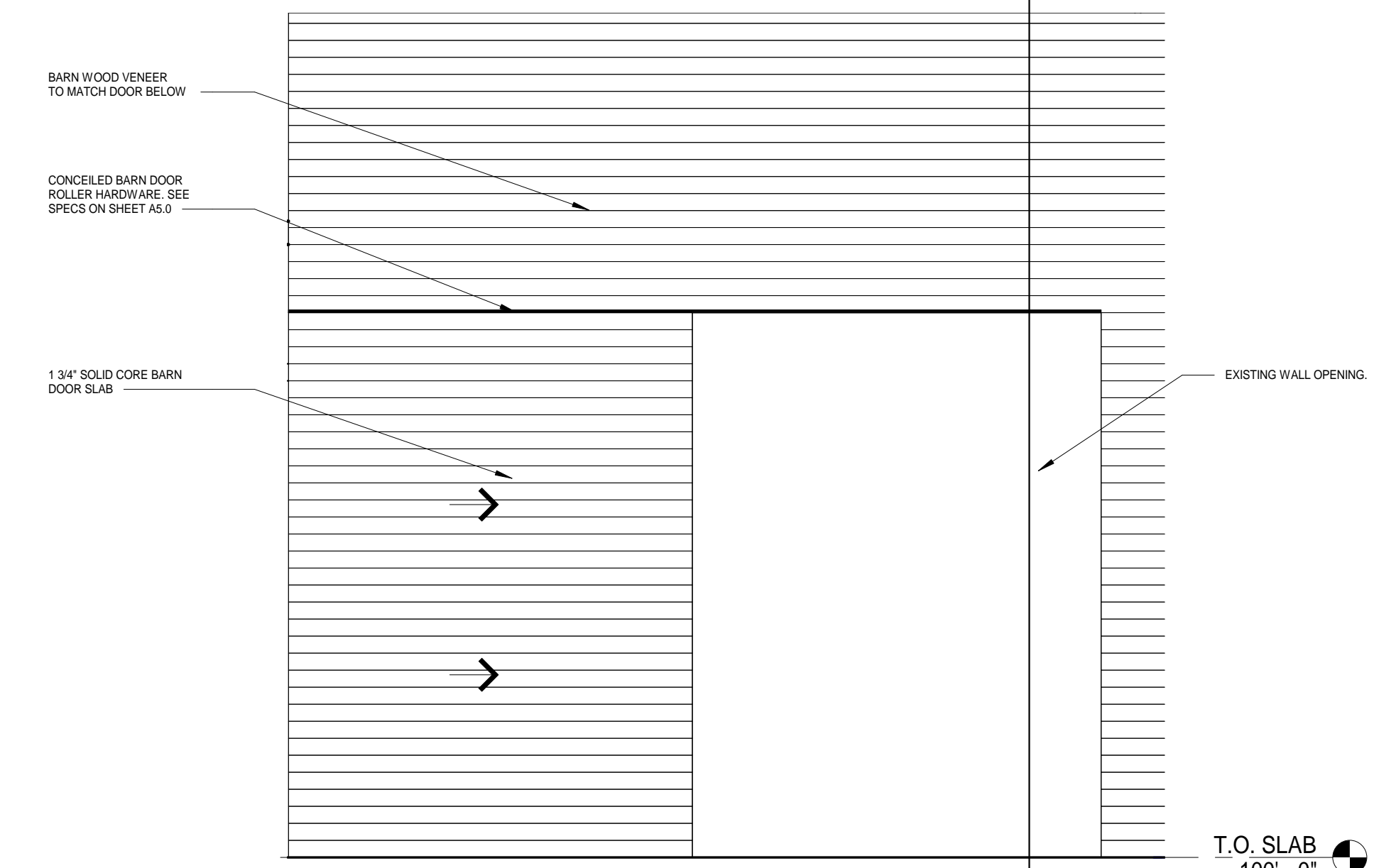
5 TYP. TREAD SECTION  
1/2" = 1'-0"



6 PATIO RAIL DETAIL  
1/2" = 1'-0"



7 STAIR SECTION  
1/2" = 1'-0"



8 HIDDEN DOOR ELEVATION  
1/2" = 1'-0"

**JOHNSON HARDWARE** INSTRUCTIONS 200 WALL MOUNT

www.johnsonhardware.com

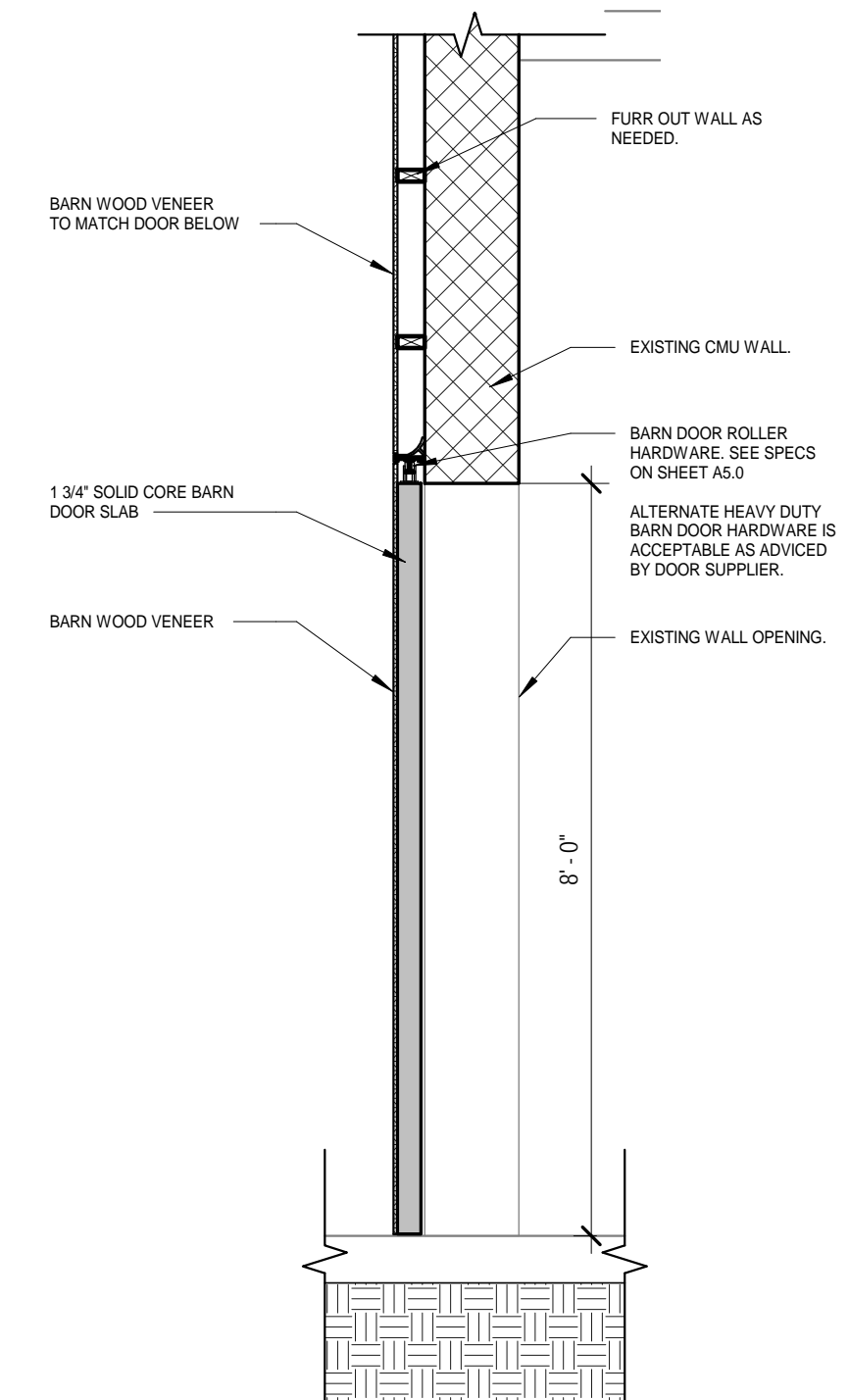
MINIMUM DOOR THICKNESS 1-1/8" (29mm)  
MAXIMUM DOOR WEIGHT 400 lbs. (182kg)

- Prepare opening to dimensions shown (or if existing, size door to fit).
- Slide 2006 Wall Mount Brackets onto track and secure with set screws. Adjust brackets to stud locations or where a solid anchor is assured. **Note: Brackets that are closest to ends must be within 8" (203mm) of track edge.**
- Horizontal location of track is not critical and is governed by trim thickness, however, **Track must be level** or door will not stay in position. Fasten brackets 2-3/8" (60mm) above header.
- Disassemble #12 Guide and fasten base to jamb at floor.
- Insert 2020 Hanger wheels into track with locking levers facing ends of track.

- Drill a 1/2" (12.5mm) diameter hole, 1-1/2" (38mm) deep on centerline of door 5-3/4" (145mm) from each edge of door.
- Attach 2021 Door Plate to door with four 1-1/4" (32mm) screws.
- Insert 2021 Door Plate's pivot pin into 2020 Hanger. Lock into place with locking lever.
- Reinsert front half of #12 Guide and position so door slides freely. Fasten with two 1-1/8" (25mm) screws.
- Insert 2025 Stops into each end of track. Position door over opening with desired closure and back edge of door is still in #12 Guide. Tighten 2025 Stop to limit door travel. Open door until door is flush with jamb face and lighten other 2025 Stop to limit opening travel of door.
- Attach 3/8" X 1-1/4" (9.5mm X 32mm) stop (not included) at edge of header with #8 X 1-1/4" (32mm) flat head screw.
- Adjust 2020 Hanger if necessary.

IN200-WM L.E. JOHNSON PRODUCTS, INC. - 2100 STERLING AVE. - ELKHART, IN USA 46516 - (874) 293-5664 Rev 11/12  
—RETRACTION SHEET IS SUBJECT TO CHANGE—

9 HIDDEN DOOR SECTION  
1/2" = 1'-0"



Approved January 11, 2022  
© ASHER ARCHITECTS B.CORP.  
ALL RIGHTS RESERVED.  
This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

**ASHER ARCHITECTS**

a: 512 5th St.  
BERTHOUD CO. 80513  
p: 970-532-9970  
w. AsherArch.com  
e: David@AsherArch.com

FOR CONSTRUCTION



**COPPER SKY DISTILLERY**  
110 Emery Street  
Longmont, CO 80501

PROJECT INFORMATION:  
21-C26  
DOCUMENT DATE:  
1/12/2022 2:49:51 PM  
DOCUMENT PHASE:  
CONSTRUCTION DOCUMENTS

DATE	BY	REVISION
07/05/22	JESUS C.	DATE
07/05/22	DAVID	CHECKED BY
07/05/22	DAVID	DATE
07/05/22	DAVID	REV. #
07/05/22	DAVID	COMMENTS
07/05/22	DAVID	BY
07/05/22	DAVID	APP. BY

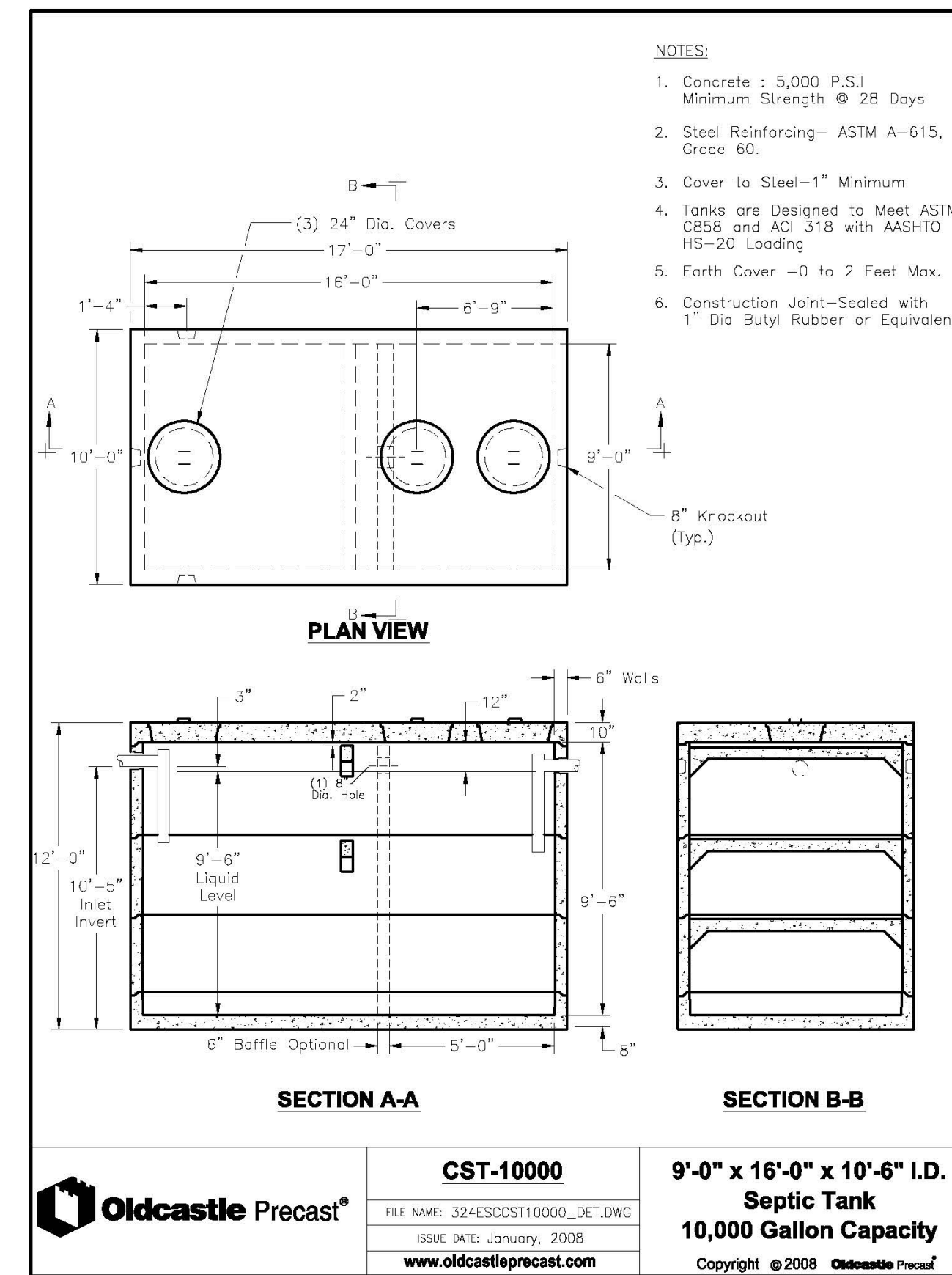
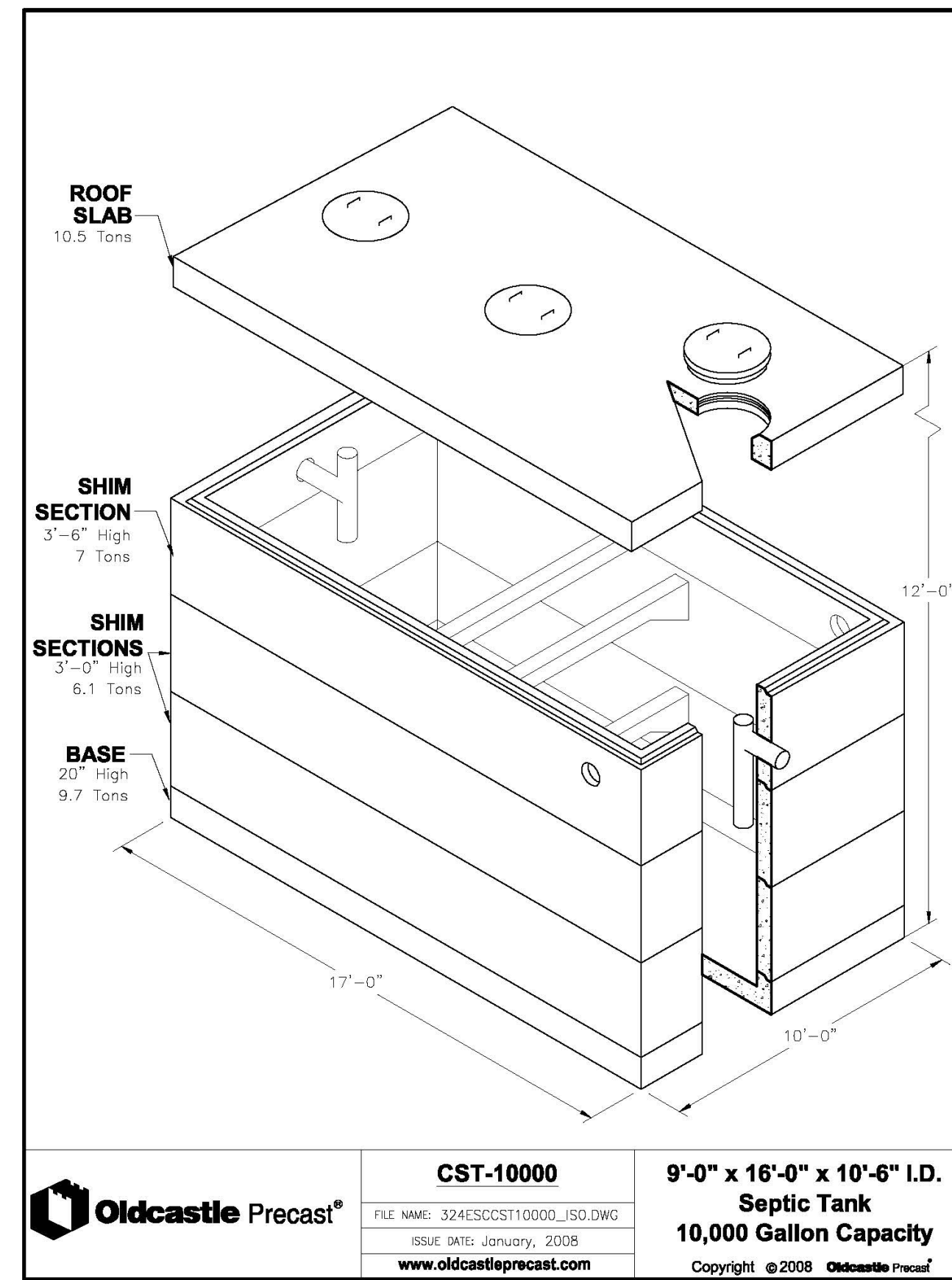


STAIR/ HIDDEN DOOR DETAILS/ SPEC SHEETS

**A5.2**



# 9'X16' SEPTIC TANK 10000 GAL.



BUSINESS OWNER WILL VERIFY OR PROVIDE A CLASSIFIED FORKLIFT PER THE REQUIREMENTS BELOW. NO FORKLIFT CHARGING OR STORAGE WILL OCCUR WITHIN THE H3 OCCUPANCY AREA. FORKLIFT STORAGE IS TO OCCUR OUTDOORS AT LEAST 5' FROM THE STRUCTURE.

### 3 FORKLIFT SPECIFICATIONS

### 1 SEPTIK TANK SPEC SHEET

## SPILL CONTAINMENT WORKSTATIONS

Low-profile workstations protect floors from spills and leaks from 55-gallon drums.

- Configure drum handling and dispensing areas.
- Tough, high-density polyethylene construction.
- Resists chemicals, rust and corrosion.
- Withstands extreme temperatures -20° to 120°F.
- Non-skid, easy-to-clean removable grates.
- Ramp - 1,000 lb. capacity. Easy loading/unloading.
- Meets EPA, SPCC and NPDES regulations.



SHIPS VIA MOTOR FREIGHT

MODEL NO.	DESCRIPTION	DIMENSIONS L x W x H	LOAD CAP. (LBS.)	SUMP CAP.	WT. (LBS.)	PRICE EACH	
						1	3+
H-4865	1 Drum	25 x 25 x 6"	2,000	12 Gal.	16	\$110	\$105
H-4036	2 Drum	49 x 25 x 6"	2,500	24 Gal.	33	160	150
H-4037	4 Drum	49 x 49 x 6"	6,000	49 Gal.	65	265	255
H-4038	Work Ramp	33 x 48 x 6"	1,000	N/A	42	205	195
H-4039	Connectors	Set of 2	N/A	N/A	2	15	14

Connectors - Create custom configurations. Securely connect two or more workstations. Sold in pairs.

## SPILL DIKES

Blocks off machine spills and leaky IBC tanks. Confines oil, water and chemicals.

- Tacky, flexible polyurethane seals tight to floors.
- Nonabsorbent, washable and reusable.
- High Profile - 4 1/2" height for high-volume spills. Interlocking ends for longer runs.
- Low Profile - 2 1/4" height. Cut to desired length.



MODEL NO.	DESCRIPTION	SIZE L x W x H	WT. (LBS.)	PRICE EACH		ADD TO CART
				1	2+	
H-8678	High Profile	5' x 4" x 4 1/2"	16	\$525	\$500	<input type="checkbox"/> ADD
H-8679	Low Profile	10' x 4" x 2 1/4"	30	650	625	<input type="checkbox"/> ADD

### 2 SPILL CONTAINMENT



Approved January 11, 2022  
 © ASHER ARCHITECTS B.CORP.  
 ALL RIGHTS RESERVED.  
 This drawing is an instrument of service and is the sole property of Asher Architects. Use of this drawing is restricted to the original site for which it was prepared. Any reuse, reproduction, or publication of this drawing by any method in whole or in part without written consent of the architect is prohibited.

# ASHER ARCHITECTS

a: 512 5th St.  
 BERTHOUD CO. 80513  
 p: 970-532-9970  
 w: AsherArch.com  
 e: David@AsherArch.com

FOR CONSTRUCTION



**COPPER SKY DISTILLERY**  
 110 Emery Street  
 Longmont, CO 80501

PROJECT INFORMATION:  
 21-C26  
 DOCUMENT DATE:  
 1/12/2022 2:49:52 PM  
 DOCUMENT PHASE:  
 CONSTRUCTION DOCUMENTS

DRAWN BY: JES/JSC	DATE: 07/05/22	
CHECKED BY: DAVID	DATE: 07/05/22	
REV.#:	DATE	COMMENTS
1	07/05/22	Big Dept. Comm.



DETAILS/ SPEC SHEETS

# A5.3