



ELEVATING BUSINESS. EMPOWERING COMMUNITIES.



Retail Conversion Grant APPLICATION

Items Required for Grant Submittal (applications will be considered complete when all items are received)

All Applications

- Pre application meeting with the Longmont Economic Development Partnership and Downtown Development (DDA) staff
- Completed Application (this form)
- Detailed description of conversion project (use this form or attach additional sheets as needed)
- City of Longmont Sales & Use Tax License (attach copy or provide number on application)
- Business Plan with specified core elements (see Attachment B) or 3-years of financial projections for businesses that have been in business 3 years or more
- Proof of Payment for expenses requesting reimbursement (must be submitted within 12 months (1 year) of application)
- Permission of property owner (if the business owner and property owner are different)

Applications Requesting Matching Funds from the DDA

- Two contractor bids for the proposed conversion improvements
- Proof that property taxes are paid and up to date
- Financial statements ¹
- Description of how the project is compatible with goals in the Longmont Arts & Entertainment District plan and/or the LDDA Master Plan of Development.

Please provide the following information:

Date of Pre-Application Meeting: 3/8/2017 Date Submitted: 7-14-17

Sales & Use Tax License No: 2-01201-1117 Date Issued: 6/27/2017 No. of Employees 4-5

Business Owner/Operator: (Please include names of all owners/partners of the business)

Rosemary Girard Bieker

Business Name: Ivy Rose Incorporated

Business Address: 520 Main Street #A1 Zip Code 80501

Note: Only businesses in the LDDA are eligible for this grant program.

Business Phone: () Alternate Phone: () 303-718-1091

Email Address: ivyroselongmont@gmail.com

Description of type of business and products or services provided: women's clothing and accessories

Description of conversion improvements to be reimbursed (attach additional sheets/plans and architectural renderings if applicable): Demo, fireproofing, sound insulation, ADA accessible restrooms, electric panel upgrades

Total Project Cost: \$ 195,000 (approx.) Grant Request: \$ 7,500 + matching funds (approx.)

Description of how the proposal is compatible with the Longmont Arts & Entertainment District plan and/or the LDDA Master Plan of Development: (documents available on-line or on request) women's clothing boutique will be a retail destination and complement the 5 restaurants on the block

Signature: Rosemary Bieker 7-14-17



CITY OF LONGMONT, COLORADO
DEPARTMENT OF FINANCE
SALES AND USE TAX LICENSE

This License does not entitle Licensee
to make tax exempt purchases.

No. 2-01201-1117

DATE
ISSUED 6/27/17

CLOTHING STORE
NATURE OF BUSINESS

THIS CERTIFIES THAT THE LICENSEE IS AUTHORIZED TO
COLLECT SALES TAX FOR THE CITY OF LONGMONT,
COLORADO, OR REMIT USE TAX IN ACCORDANCE WITH
THE PROVISIONS OF CHAPTER 4.04 AND CHAPTER 6.08
OF THE LONGMONT MUNICIPAL CODE.

NAME
BUSINESS
ADDRESS

IVY ROSE INCORPORATED
IVY ROSE INCORPORATED
520 MAIN ST #A1
LONGMONT CO 80501-0000

James M. Golden, Director of Finance

NOT TRANSFERABLE

Construction Cost Estimate

KEE CONSTRUCTION COMPANIES, INC.

4129 Arleigh Ct.~Berthoud, CO 80513

Phone (303) 772-4855~Fax (303) 485-9397~Email- keeco125@gmail.com

June 29, 2017

TO: Monique Cole
520 Main St.
Longmont, CO 80501 **Job Site Address:** 520 Main Street Longmont

✓	Demolition:	Existing walls, grid ceiling, drywall, floor coverings (not wood) trash removal, and prep for new construction.	\$ 7,500.00
✓	Framing:	Frame new walls, and overhead soffits, (no exterior wall framing) insulate walls for sound, move header, etc.	\$ 3,990.00
✓	Drywall:	Drywall ceiling for 2 hour separation, fire tape only, drywall new framed walls and texture ready for paint.	\$ 29,780.00
✓	Electrical:	Power distribution per print, install 2 new panels, provide and install light fixtures as specified, reroute some electrical on ceiling for the 2 hour separation requirement.	\$ 49,800.00
✓	Plumbing and Mechanical:	Provide temporary restroom for existing tenant using existing fixtures, rough in and finish 2 restrooms, rough in and install new drinking fountain, install 2 bath fans, relocate HVAC ducts in ceiling from existing supplies. ^{no}	\$ 9,190.00
✓	Ceilings:	Install new grid ceiling and ceiling tile per plans.	\$ 10,238.00
✓	Finishes:	Install new restrooms, with tile floors and walls, all fixtures, mirrors, and associated hardware, 7 new doors and trim, no base moulding.	\$ 10,200.00
NO	Painting:	Allowance for painting	\$ 6,200.00
✓	Flooring:	Allowance for flooring, (not including restrooms)	\$ 9,450.00
✓	Misc:	Site supervision, special equipment, misc. labor, special parking and job site access, contractor overhead and profit.	\$ 31,124.00
	Total Estimated amount		\$ 167,472.00

Keel Construction would propose to complete this job on a time and materials basis, with a fee to cover overhead and profit of 17%.

*This is an estimate based on current documentation from DBL & Associates, LLC
Items not included in the amount above include the following: Building permit and associated fees, architectural fees, structural inspections.*

Submitted By:

LaDon Kee
Kee Construction Co's, Inc.
(303) 591-4855 cell

Construction Proposal

May 31, 2017
PR-1705-1387 - 520 Main St Longmont TI
520 Main St
Longmont, Colorado 80501

Milo Construction Corporation
1898 S. Flatiron Ct. Suite 100
Boulder, Colorado 80301
United States
303.444.7775
303.362.5882

This proposal is based on only the costs and scope of work associated to the address described above and/or as outlined in the accompanying clarifications. Milo Construction Corporation reserves the right to assess additional work, not in the original scope, and submit the costs, as they become known. Time limit on proposal is 20 days from date above. Milo Construction Corporation reserves the right to re-evaluate proposal in both scope and cost after 20 days expires.

Milo Construction Corporation submits this proposal with the understanding that we will be able to negotiate payment terms, a construction sequence and contract terms and conditions that are mutually acceptable to Client and Milo Construction Corporation. Milo Construction Corporation shall not be liable for the loss of use of services, or existing property, loss of profits, loss of product or business interruption, or for special, indirect, incidental, liquidated or consequential damages, however the same may be caused.

This proposal endeavors to include all of the scope of work as depicted in the construction documents. Please note any clarifications or exclusions listed supersedes the scope or design intent shown or not shown in the construction documents. For clarification, substitutions or, if you should require any additional information, please do not hesitate to contact us at (303) 444-7775.

Please take note of any options not included in the base proposal total and allowances which represent items without finalized pricing at this time.

We sincerely thank you for this opportunity.

Proposal

May 31, 2017

Between the Owner: **Pedal to Properties**
2014 Pearl St
Boulder, Colorado 80302
303-444-4643

And the Contractor: **Milo Construction Corporation**
1898 S. Flatiron Ct. Suite 100
Boulder, Colorado 80301
United States
Company License Number
303.444.7775

For the Project: **PR-1705-1387 - 520 Main St Longmont TI**
520 Main St
Longmont, Colorado 80501

SCOPE OF WORK:

Retail tenant improvements based on DLB and Associates plans dated 05/05/17 and the attached Milo clarifications, inclusions and exclusions.

TOTAL BASE PRICE: \$189,801.67

OPTIONAL CONTRACT ADDITIONS (NOT INCLUDED IN BASE PRICE):

01 00 11 - Building Permit	\$6,700.00
Options Total:	\$6,700.00

Project Totals:

00 00 00 - PROCUREMENT REQ.

00 31 19 - Existing Condition Information

Unforeseen conditions are possible on this project. Our bid is solely based on the bid documents, our visual site observations when inspecting the site, and our proposal clarifications, inclusions and exclusions. Dimensions, inverts., unforeseen pipe routing locations and elevations shall be based on the current plans, once exposed, actual field

conditions may vary which may result in a cost and or schedule impact. Our base bid proposal includes an ALLOWANCE for such contingencies.

During the bid process a full assessment, trace-back and diagnostic of existing MEP utilities has not been performed. There is the possibility that existing MEP utilities serving other tenant spaces may need to be relocated in order to complete this scope of work. If, and in doing so may result in a temporary shutdown and interruption of MEP services to adjacent spaces. Milo Construction will coordinate if/and as necessary however we do not currently include off hour works or night work for such work activities.

<i>00 31 19 - Subcontractor</i>	
00 31 19 - Existing Condition Information	\$5,000.00
SUBTOTAL 00 00 00 - PROCUREMENT REQ.	\$5,000.00

01 00 00 - GENERAL REQ.

01 00 19 - Blueprinting

01 00 19 - Material

01 00 19 - Blueprinting **\$50.00**

01 00 22 - Small Tools and Equipment

01 00 22 - Equipment

01 00 22 - Small Tools and Equipment **\$245.00**

01 00 28 - Project Management

01 00 28 - Labor

01 00 28 - Project Management **\$4,480.00**

01 00 30 - Supervision

01 00 30 - Labor

01 00 30 - Supervision **\$10,920.00**

01 00 32 - General Labor

01 00 32 - Material

01 00 32 - Labor

01 00 32 - General Labor **\$651.00**

01 52 19 - Sanitary Facilities

Portable toilet on a trailer for Milo and tenant use during construction. Currently does not included an ADA compliant facility. Based trailered toilets located in the tenants designated parking space.

01 52 19 - Subcontractor

01 52 19 - Sanitary Facilities **\$5,640.00**

01 53 00 - Temporary Construction

01 53 00 - Material

Temporary protection during construction

01 53 00 - Temporary Construction **\$100.00**

01 55 00 - Vehicular Access and Parking

Allowance for Public Work right of way/parking permit for deliveries at parking spaces on Main St. Partial, not for the duration of the project.

01 55 00 - Subcontractor

01 55 00 - Vehicular Access and Parking **\$400.00**

01 56 00 - Temporary Barriers and Enclosures

Pedestrian protection during canopy demolition and construction

01 56 00 - Material

01 56 00 - Labor

01 56 00 - Temporary Barriers and Enclosures **\$316.00**

01 74 00 - Cleaning and Waste Management

Price for dumpster and clean up through out construction. Assumes we will have a parking space or designated area, close to the work area, for roll off container. Also see demolition.

01 74 00 - Equipment

01 74 00 - Cleaning and Waste Management **\$400.00**

01 74 23 - Final Cleaning

01 74 23 - Subcontractor

01 74 23 - Final Cleaning **\$550.60**

01 78 33 - Bonds

01 78 33 - Subcontractor

Performance and payment bond excluded.

01 78 33 - Bonds **\$0.01**

SUBTOTAL 01 00 00 - GENERAL REQ. \$23,752.61

02 00 00 - EXT. CONDITIONS

02 24 00 - Environmental Assessment

02 24 00 - Subcontractor

This proposal excludes testing, monitoring or abatement of all Hazardous Material.

02 24 00 - Environmental Assessment \$0.01

02 41 19.13 - Selective Building Demolition

Demolition and disposal as depicted on the plans

Carpet, pad, tack strip removed: floor preparation, floor leveling, existing floor condition repairs is excluded at the direction of the owner.

New subfloor underlayment over existing floor sheathing is excluded at the direction of the owner.

Structural repair or maintenance of existing conditions not depicted on the plans is currently excluded.

02 41 19.13 - Material

02 41 19.13 - Labor

02 41 19.13 - Subcontractor

02 41 19.13 - Equipment

02 41 19.13 - Selective Building Demolition \$4,850.00

SUBTOTAL 02 00 00 - EXT. CONDITIONS \$4,850.01

04 00 00 - MASONRY

04 00 00 - Masonry

Tuckpointing and repair of existing masonry is currently excluded and is not foreseen as part of this scope of work.

04 00 00 - Subcontractor

04 00 00 - Masonry \$0.01

SUBTOTAL 04 00 00 - MASONRY \$0.01

06 00 00 - WOOD, PLASTICS, COMP

06 10 00 - Rough Carpentry

Raise beam headers/framing for new ceiling ht.
Edge/span blocking for drywall ceiling

Misc. rough carpentry and blocking

06 10 00 - Material

06 10 00 - Labor

06 10 00 - Equipment

06 10 00 - Rough Carpentry **\$2,115.00**

SUBTOTAL 06 00 00 - WOOD, PLASTICS, COMP **\$2,115.00**

07 00 00 - THERMAL PROTECTION

07 21 00 - Thermal Insulation

Thermal insulation is not shown or included in this bid.

See drywall for description of sound insulation.

07 21 00 - Subcontractor

07 21 00 - Thermal Insulation **\$0.01**

07 50 00 - Membrane Roofing

Roof penetrations or roof patching is excluded.

07 50 00 - Subcontractor

07 50 00 - Membrane Roofing **\$0.01**

07 62 00 - Sheet Metal Flashing and Trim

Horiz. top cap flashing at canopy wood beams only (not wrapping sides and bottom of wd. beams). Cap flashing is not assumed or included at brick horiz. surfaces

07 62 00 - Subcontractor

07 62 00 - Sheet Metal Flashing and Trim **\$675.00**

07 84 00 - Firestopping

07 84 00 - Subcontractor

07 84 00 - Firestopping **\$360.00**

SUBTOTAL 07 00 00 - THERMAL PROTECTION **\$1,035.02**

08 00 00 - OPENINGS

08 14 00 - Interior Doors

5 ea. interior doors openings
2 ea. exterior insulated hollow meta door openings
HM frames, paint grade int. doors

Doors/frames/hardware are not specified and therefore are currently included as an allowance

Existing door opening to Storage rm. is existing and call out to remain as is

08 14 00 - Material

08 14 00 - Labor

08 14 00 - Interior Doors **\$4,837.00**

08 41 00 - Entrances and Storefronts

Glass and glazing work excluded and shown to remain as-is

08 41 00 - Subcontractor

08 41 00 - Entrances and Storefronts **\$0.01**

✓ **SUBTOTAL 08 00 00 - OPENINGS** **\$4,837.01**

✓ **09 00 00 - FINISHES**

09 21 00 - Gypsum Board Assemblies

09 21 00 - Subcontractor

Drywall systems as depicted on the plans

Demising walls 8", 2-hour, full ht. 13'-2", load bearing 16" OC.
Plumbing wall 6", non-rated, 11' ht. above grid, non-bearing, 16" OC.
Standard partition wall 4", non-rated, 11' ht. above grid, non-bearing, 16" OC.
Gyp. on exist. framing 2-layer 5/8" on 1-side
Upgrade exist. part. to TOW for 2-hr. rating
Demo/reframe for door cut-in
Infill exist. door opening
Skim/patch/texture exist. gyp. on perimeter
Drywall patch at raised headers
Hardlid ceiling system below ceiling hung furnace
Ceiling drywall 2-layer, 5/8", RC between gyp. layers, fire tape only
Drywall patch at raised headers
UL joint filler at 2 hr. wall.ceiling joints

Note:

Drywall paint/patch in stairwells and inside of if Storage or Furnace Closet is excluded

All drywall to be level 4 smooth finish except for gyp. ceiling above acoustical ceiling which is fire tape only

09 21 00 - Gypsum Board Assemblies **\$37,129.00**

09 30 00 - Tiling

Floor tile at 5'-10" ht. wall tile in toilet rooms

Price to furnish and install approximately 376 SF ceramic tile per plan

Tile is not specified and is therefore an allowance until actual tile is determined

09 30 00 - Subcontractor

09 30 00 - Tiling **\$3,760.00**

09 51 00 - Acoustical Ceilings

Acoustical ceiling systems as depicted on the plans

Ceilume ceiling tile is not fully specified

Base bid includes Ceilume Stratford series 2x4 ceiling tile with standard USG grid system

Voluntary Alternate: ILO Ceilume Stratford, utilize #2742 Radar Illusion, tegular, scored for 2x2 look deduct (\$ 3,200)

09 51 00 - Subcontractor

09 51 00 - Acoustical Ceilings **\$13,754.00**

09 60 00 - Flooring

09 60 00 - Subcontractor

Floor finishes in Retail Tenant Space -, flooring finishes, flooring underlayment (if required) and wall base is excluded throughout at the direction of the owner.

See tile for toilet room finishes

See Carpet for Commons area finishes

09 60 00 - Flooring **\$0.01**

09 68 00 - Carpeting

Price to furnish and install approximately () SY new carpet tile and 4" rubber cove base.

09 68 00 - Subcontractor

09 68 00 - Subcontractor

09 68 00 - Carpeting **\$1,197.00**

09 91 23 - Interior Painting

09 91 23 - *Subcontractor*

Painting in toilet rms., common back corridor only

No painting in open retail spaces, tenant office, storage rm. or stairwells.

09 91 23 - Interior Painting

\$1,010.00

SUBTOTAL 09 00 00 - FINISHES

\$56,850.01

10 00 00 - SPECIALTIES

10 00 00 - Specialties

10 00 00 - *Subcontractor*

Toilet accessories as depicted on the plans

- grab bars
- toilet paper holder
- framed mirror
- paper towel dispenser

10 00 00 - Specialties

\$546.00

SUBTOTAL 10 00 00 - SPECIALTIES

\$546.00

12 00 00 - FURNISHINGS

12 00 00 - Furnishings

12 00 00 - *Subcontractor*

Loose furnishings, furniture, decor and window coverings are excluded.

12 00 00 - Furnishings

\$0.01

SUBTOTAL 12 00 00 - FURNISHINGS

\$0.01

21 00 00 - FIRE SUPPRESSION

21 10 00 - **Water-Based Fire-Suppression Systems**

Excludes any and all fire sprinkler systems.

21 10 00 - *Subcontractor*

21 10 00 - **Water-Based Fire-Suppression Systems**

\$0.01

SUBTOTAL 21 00 00 - FIRE SUPPRESSION

\$0.01

22 00 00 - PLUMBING

22 00 00 - Plumbing

22 00 00 - Subcontractor

Plumbing work as depicted on the plans

- remove existing plumbing fixtures
- demo existing plumbing systems-partial
- new plumbing fixtures (sink, toilet, drinking fountain, no floor drain)
- relocate D/W/V for toilet rm. plumbing
- relocate H/C water for toilet rms. (no water heater work)
- demo/cap misc. in wall abandoned plumbing

Relocate ceiling plumbing that impedes the install of ceiling drywall

It is assumed that the existing plumbing systems are in good working order. Modifications or repairs beyond what is depicted on the plans if excluded.

Hydronic work as depicted on the plans

- remove and relocate existing HW radiators
- relocated radiator fin tube, housings and control valve are to be re-used, replacement is not included.
- painting and/or refurbishing of existing radiator housing/shrouds and excluded and not called out.

22 00 00 - Plumbing **\$14,975.00**

SUBTOTAL 22 00 00 - PLUMBING **\$14,975.00**

23 00 00 - HVAC *NO*

23 00 00 - Heating, Ventilating, and Air Conditioning

23 00 00 - Subcontractor

HVAC as depicted on the plans

- partial demo of existing air distribution system
- air distribution system
- fire dampers
- relocate exhaust at toilet rms.
- relocate furnace condensate to toilet rms.
- relocate T-stats

Bid is based on the existing mechanical system being in good working order. Diagnostics, modifications and repair of the furnaces is currently excluded.

23 00 00 - Heating, Ventilating, and Air Conditioning **\$9,500.00**

SUBTOTAL 23 00 00 - HVAC **\$9,500.00**

26 00 00 - ELECTRICAL

26 00 00 - Electrical

26 00 00 - Subcontractor

Electrical work as depicted on the plans

- Electrical demo and safe-off
- new panels
- new panel feeders in existing conduit to MDP
- MDP breakers/fuses are excluded and presumed existing at the MDP
- Lights
- Power
- Mech power - re-worked to new panel
- Telecom raceway only

NOTE: Acoustical ceiling is 2x4, the Electrical ceiling light plans shows 2x2. Instead of 2x2 light fixtures per plans and utilizing 2x4 light fixtures is a deduct of \$ 3,100. Elec. Engineer needs to review for final approval and acceptance.

26 00 00 - Electrical **\$46,765.00**

SUBTOTAL 26 00 00 - ELECTRICAL **\$46,765.00**

27 00 00 - COMMUNICATIONS

27 00 00 - Communications

27 00 00 - Subcontractor

Data cabling, devices, terminations and head end equipment is excluded.
Raceway and boxes included only as depicted on the plans

Security systems are excluded.

27 00 00 - Communications **\$0.01**

SUBTOTAL 27 00 00 - COMMUNICATIONS **\$0.01**

28 00 00 - SAFETY & SECURITY

28 31 00 - Fire Detection and Alarm

Fire alarm work is excluded

28 31 00 - Subcontractor

28 31 00 - Fire Detection and Alarm **\$0.01**

SUBTOTAL 28 00 00 - SAFETY & SECURITY **\$0.01**

COMPANY OVERHEAD & MARGIN

Company Overhead

Company Overhead Percentage

Company Overhead **\$2,553.39**

Company Margin

Company's Profit Margin

Company Margin **\$17,022.57**

SUBTOTAL COMPANY OVERHEAD & MARGIN **\$19,575.96**

GRAND TOTAL **\$189,801.67**

OPTIONS (NOT INCLUDED IN BASE PRICE):

OPTIONS:

01 00 11 - Building Permit

ALLOWANCE price for building permit, plan review and use tax fees.

Final permit costs to be assessed by the City of Longmont Building Dept.

01 00 11 - Subcontractor **\$6,700.00**

Subtotal 01 00 11 - Building Permit **\$6,700.00**

OPTIONS TOTAL **\$6,700.00**

Basis of Proposal

- The proposal is based on _____

- o All contract documents
- o It is noted that this set of plans does not include any plan review comments from the City Building Permit Dept.
 - It is assumed that all existing work is installed in a code compliant condition. Any code-required upgrades to the existing building that are directed by the Building Department Field Inspection that are not part of our new work is excluded. It is prudent to include a contingency in your overall project budget for unforeseen conditions that may exist that require correction.
 - It is assumed that all products/equipment specified are common items readily available within the time frame of the construction schedule.
 - We assume that one reproducible set of "Construction Plans" and a .pdf disk will be provided for our use.
 - It is assumed that the existing MEP systems are in good working order. Diagnostics, maintenance and repair of existing MEP systems are currently excluded.

General Clarifications and Exclusions

1. Throughout the course of pre-construction and construction, owners, employees and sub-contractors of Milo Construction Corporation ("The contractor") may provide suggestions and assistance to aid in pricing clarifications. The Contractor may also offer alternative means, methods, or products as "Value Engineering" options. If these aids or value engineering options are incorporated by the design team, Milo Construction Corporation assumes no liability or responsibility for design, engineering, compatibility or appropriateness of this design.
2. A maximum turnaround time of 1 week for submittals and 24 hours of Responses to Requests for Information is required to meet the overall project schedule. Turnaround time in excess of these durations will result in a time extension to the schedule.
3. It is not the responsibility of the Contractor to make certain that the documents prepared by the architect and his consultants are in accordance with applicable laws, statutes, building codes, and regulations. If the contractor, in the exercise of due care, observes that any of the documents are at variance therewith in any respect, he shall promptly notify the owner of all conflicts between the drawings and specifications and any laws, ordinances, rules, regulations, or restriction that come to his attention.
4. Certain issues of code compliance are subject to subjective or discretionary interpretation or application by code enforcement agencies or officials. Milo Construction Corporation will exercise reasonable and professional efforts to obtain compliance with applicable codes affecting plans and specifications but has no responsibility or liability for adverse code interpretations, rulings or determinations.
5. Although we have not identified any specific problems related to the conformance of the project design to the Americans with Disabilities Act (ADA), we

exclude any work not specifically noted on the drawings that could be required to bring the project into ADA Compliance.

6. Electronic CADD Backgrounds will be provided by the Architect at no additional cost.

7. Carpet, sheet vinyl, and VCT floor coverings at slab on grade areas cannot be warranted if moisture vapor tests on the concrete slab exceed manufacturer's allowable limit. If Owner schedule requirements dictate, it may be necessary to proceed with installation of these floor systems. The risks inherent with this installation will be discussed with the owner prior to installation.

8. Where the documents do not indicate a specific model and/or type for items or systems, we have assumed that the items or systems are from the manufacturer's standard line of products and shall not exceed the minimum functional requirements of such items or systems.

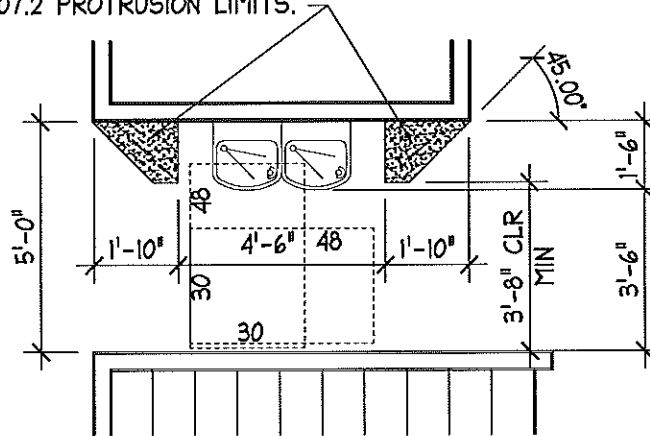
9. Where the documents do not specify a color and/or finish for an item or system, we have assumed that the color and/or finish is from the manufacturer's standard selection of color and/or finishes and that such finish and/or color shall not require a premium charge.

10. All design and engineering for the project is by others.

We assume the design team has coordinated all manufacturers' installation instructions with the design plans, details and specifications.

No over time, after hours, or weekend work included.

WI PLANTER SHELF 48" HIGH W/ PLASTIC LAMINATE CAP TO SATISFY ICC A117.1, 307.2 PROTRUSION LIMITS.



7 ENLARGED FLOOR PLAN (REVISED)
A2 1/4" - 1'-0"

C3 NEW 1 HR HARD LID CLG. CONSTRUCT PER USG UL DESIGN L525. (SEE BELOW)

B Floor/Ceilings

Wood Framed



1 Hour Fire-Rated Construction	Dimensional Lumber	Acoustical Performance		Reference
Construction Detail	Description	Test Number	STC Test Number	Index
clg. wt. 3 	<ul style="list-style-type: none"> • 1/2" or 5/8" S-EETROCK FIRECODE C Core gypsum panels, ceiling - 1" nominal wood sub and finished floor - 2 x 10 wood joist 16" o.c. • USG DGL Drywall Suspension System - joints finished • optional LEVELROCK floor underlayment in lieu of second layer of plywood • optional SRM-25 or SRB sound mat 	UL Des L525		B-58

DLB & ASSOCIATES, LLC
ARCHITECTS / PLANNERS
500 KIMBARK ST. SUITE 102, LONGMONT CO 80501
PHONE: (303) 776-9377 FAX: (303) 776-9378

520 MAIN STREET
VANILLA SHELL
LONGMONT, COLORADO

ASI | 6/28/17
ADDITIONAL DRINKING
FOUNTAIN INFO &
ADDITIONAL C3 INFO



ARCHITECTS RESPONSE TO PLAN REVIEW

June 15, 2017

Project Description: B201702150 – 520 Main Vanilla Shell

Project Location: 520 Main Street

Architect: Ryan Scott Bloemker – 400058

Plan Review By: Ozzy Tarin

Ozzy,

Please refer to my responses to your comments below in blue.

1. After reviewing your submittal, we will need a separate permit application since two new tenants will be created with this work. In addition, please provide us an addressing map of each tenant space in the building for our records, so we are able to issue a C of O to each individual tenant (for the two new M occupancy's). This will be completed when the rest of the application is submitted to the city.
2. Please indicate on the drawings if this building is sprinklered or not. In addition, I would suggest using spell check on the notes of the drawings to make sure the correct wording is used, so no misinformation may affect the outcome of the project. The building shall not be sprinklered as indicated on the code review on page A1 of the drawings.
3. The occupant load information will need to be revised with the following information; under the title it shall state gross not net, all conference rooms shall use an occupancy factor of 15 (when the room has table and chairs) not 100, the occupant load factor for mercantile shall be 60 not 30, and the basement storage area shall also be included (you can use an occupancy factor of 500 if only using it for storage). Please note this revised occupant load total shall be used to determine the plumbing fixture count (not how it was calculated on the drawings). After doing a preliminary calculation, I do not believe you met the minimum requirements. The occupant load information has been revised based on these numbers. Refer to the code study on page A1 of the drawings.
4. The plumbing drawings provided lack a lot of information. At a minimum please provide the following; fixture schedule, waste and vent diagrams, gas calculations if applicable, extent of the work being proposed, and show in detail that the work conforms to the provisions of the code. Waste vent diagrams have been added. See revised drawing, sheet M0.2. A fixture connection schedule has been added. All mechanical equipment is to remain and no new gas fired equipment is being added, so no gas connections are required.
5. It was not clear to me if the existing stair enclosure from the second floor to the exterior (west side) maintains the continuity of a 2-hour separation/protection from the adjacent tenants. Please verify compliance. The stair enclosure shall maintain the continuity of a 2-hr separation between the Residential & Mercantile. See the revised Key Plan on sheet A1.
6. The drawings did not provide any hardware information. At a minimum please provide the following information; how each means of egress door complies with IBC section 1010.1, the required fire rating when applicable (shall be self-closing), how each doors complies with 2009 ICC/ANSI A117.1 section 404 and 404.2.3.2. for door clearance. The owner & GC shall coordinate all door & hardware selections based on the egress requirements stated in the revised door keynotes on the Sheets A1 & A2. All ANSI required door clearances are shown on the enlarged floor plan 7/A2.
7. Please note; corridors shall be fire-resistance rated in accordance with IBC table 1020.1. The corridor walls required to be fire-resistance rated shall comply with section 708 for fire partitions. Please note that all doors within the corridor will need to be rated per table 716.5 and be self-closing; in addition any openings/penetrations (doors, fire dampers, etc.) will need to comply with 708.6 and 708.7. Please revise drawings and indicate the exact wall listing (UL or GA listing), fire damper locations, and detail(s) associated with this requirement including how penetrations (fire stopping, etc.) will comply with these sections. The owner & GC shall coordinate all door & hardware selections based on the egress requirements stated in the revised door keynotes on Sheets A1 & A2. A note has been added that "fire dampers shall comply with 2015 IBC 708.6 and 708.7." See revised sheet M1.1.

8. The drawings indicate a new bearing wall opening for a new door (at one of the offices). This scope of work shall be engineered by a state licensed structural engineer and provided with the necessary drawings/letters. In addition, please verify if this wall and door shall continue the corridor rating or if this condition meets the IBC section 1020.1, exception 5. There are no doors being added in any load bearing walls so no structural engineering is needed.

9. The new drinking fountain protrudes more than 4" into the circulation path. As required per 2009 ICC/ANSI A117.1 section 307 and 602 no drinking fountain shall protrude 4 inches maximum horizontally into the circulation path. Also per IBC section 1020.2 the minimum corridor clear width shall be 44". Please verify compliance. This issue has been resolved by widening the corridor to 5'. See revised enlarged plan 7/A2.

10. The mechanical drawings indicate the minimum outside air ventilation per 4% of the operable area. In mechanically ventilated spaces, existing mechanical ventilation systems that are altered, reconfigured, or extended shall provide not less than 5 cubic feet per minute (cfm) per person of out-door air and not less than 15 cfm of ventilation air per person; or not less than the amount of ventilation air determined by the Indoor Air Quality Procedure of ASHRAE 62. or provide the minimum outside air ventilation to comply with the 2015 IMC Section/Table 403.3. Before a Certificate of Occupancy is issued, a balance report will be required by a qualified third party provider or by engineer of record. The space is to be ventilated by natural means in accordance to 2015 IMC 402.2. Refer to sheet M0.2 for balance report requirement.

11. As indicated by IBC section 1010.1.9.3, the main door in Group M are permitted to be equipped with key operating locking devices from the egress side provided: The locking device is readily distinguishable as locked and is readily visible durable sign is posted on the egress side stating: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. A note was added to the Main Level Floor Plan on sheet A1, along with the Door Keynotes on Sheets A1, & A2.

12. As required by IBC section 1207.2; floor/ceiling assemblies separating dwelling units and sleeping units from each other or from public or service areas shall have a sound transmission class of not less than 50, or not less than 45 if field-tested, for air-borne noise when tested in accordance with ASTM E90. According to Michael Hannan, the Program Manager of UL, they do not test STC values. He directed me to David Mills, the architectural rep for this region with USG. David said that they ran into the same dilemma on a similar project in 2007. He said with their research, the closest they could get is an STC 45 by adjusting the 2hr L511 assembly, by moving the hat channels between the joists & the 2 layers of gyp board in addition to adding some insulation between the joists (see attached documents).

I have determined that an additional STC of 10 can be added to the assembly by installing Ceilume, an acoustical ceiling tile system beneath the L511 assembly (see attachments). Although there is no UL rating for this type of assembly, based on my research the combined systems add up to an STC of 55, which is better than the IBC requirement of 50. See revised details 1-3 on sheet A2.

13. The exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel in accordance with the requirements of IBC Section 1011. Combination exit signs/EM lights are shown at all exits. See sheet EI.

14. The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied and illumination shall not be less than 1 foot-candle at the walking surface level as required of IBC Section 1008.1 and 1008.2 Means of egress lighting is above 15 footcandles when building is occupied. Emergency illumination per IBC is at all exits, egress paths, and outside exit doors.

15. Per our fire department; 2A-10BC fire extinguisher shall be installed in both tenant spaces near exits. Fire extinguishers were added at 3 locations. See revised Main Level Floor Plan Sheet A1

Please call with any questions or concerns.

Ryan Bloemker



DEMOLITION GENERAL PLUMBING NOTES:

1. ALL EXISTING HYDRONIC BASEBOARDS AND ASSOCIATED HYDRONIC PIPING ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED.

DEMOLITION GENERAL HVAC NOTES:

1. EXISTING SUPPLY AND RETURN BRANCH DUCT SIZES ARE EQUAL TO NECK SIZE OF CONNECTED SUPPLY OR RETURN AIR DEVICE.
2. ALL EXISTING FURNACES, ASSOCIATED SUPPLY/RETURN DUCTWORK (MANS AND BRANCHES), GAS PIPING, CONDENSATE DRAIN PIPING, AND FLUE/GA DUCTWORK TO BE REMOVED AND RE-INSTALLED ABOVE NEW CEILING TO ACCOMMODATE INSTALLATION OF NEW FIRE RATED CEILING ASSEMBLY. ASSOCIATED AIR DEVICES TO BE REMOVED AND RE-INSTALLED IN NEW CEILING UNLESS OTHERWISE INDICATED.
3. "SM" TAG INDICATES EXISTING SUPPLY DIFFUSER. "DM" TAG INDICATES EXISTING RETURN GRILLE. CONTRACTOR TO VERIFY ALL NECK SIZES BEFORE RE-INSTALLATION AND ALERT EOR OF ALL CONFLICTS.

DEMOLITION HVAC NOTES:

1. EXISTING TO REMAIN.
2. COMPLETELY DEMOLISH EXISTING ABANDONED DUCTWORK AS SHOWN.
3. THERMOSTAT AND ASSOCIATED CONTROL WIRING TO BE RELOCATED TO LOCATION SHOWN ON NEW WORK PLAN.
4. EXISTING WALL SUPPLY DIFFUSER TO BE REMOVED AND RE-INSTALLED IN NEW WALL.
5. DEMOLISH EXISTING EXHAUST GRILLE, ASSOCIATED DUCTWORK UP TO CEILING LEVEL. CAP AND SEAL DUCTWORK.
6. REMOVE AND RELOCATE EXISTING EXHAUST GRILLE TO NEW RESTROOM. EXTEND EXHAUST DUCTWORK AS NECESSARY FOR RE-CONNECTION.
7. (3) EXISTING PENETRATIONS IN THIS AREA. DEMOLISH AND SEAL TO MAINTAIN ASSEMBLY RATING.
8. DEMOLISH EXISTING FAN AND ASSOCIATED DUCTWORK.

DEMOLITION PLUMBING NOTES:

1. EXISTING TO REMAIN.
2. EXISTING HYDRONIC BASEBOARD TO BE RELOCATED TO LOCATION SHOWN ON NEW WORK PLAN. EXTEND EXISTING HYDRONIC PIPING AS NECESSARY TO RE-CONNECT BASEBOARD IN NEW LOCATION.
3. ALL EXISTING HYDRONIC BASEBOARDS ON FLOOR ABOVE (SHOWN DASHED), LOCATIONS SHOWN FOR REFERENCE.
4. DEMOLISH EXISTING CW, HW, AND WASTE PIPING DOWN TO BASEMENT CEILING LEVEL. TO BE EXTENDED TO NEW RESTROOM WALL. DEMOLISH EXISTING VENT PIPING UP TO MAIN LEVEL CEILING TO BE EXTENDED TO NEW RESTROOM WALL. RETAIN EXISTING FIXTURES TO BE RE-INSTALLED IN NEW RESTROOM.
5. COMPLETELY DEMOLISH EXISTING FIXTURES AND ASSOCIATED CW, HW, WASTE, AND VENT PIPING. DEMOLISH EXISTING EXHAUST FAN, ASSOCIATED DUCTWORK, AND WALL OR ROOF TERMINATION. CAP AND SEAL ALL PENETRATIONS WATER TIGHT.
6. DEMOLISH EXISTING SINK AND ASSOCIATED CW, HW, AND WASTE PIPING DOWN TO BASEMENT CEILING LEVEL. CAP AND SEAL WATER TIGHT. DEMOLISH EXISTING VENT PIPING AT MAIN LEVEL CEILING. CAP AND SEAL WATER TIGHT.
7. EXISTING HYDRONIC BASEBOARD TO BE RELOCATED IN NEW RESTROOM AS SHOWN IN NEW WORK PLAN. EXTEND EXISTING HYDRONIC PIPING AS NECESSARY TO RE-CONNECT BASEBOARD IN NEW RESTROOM.

GENERAL NEW WORK PLUMBING NOTES:

1. PG TO VERIFY ALL EXISTING PLUMBING PIPING ROUTING, PPE SIZES, AND NEW TO EXISTING CONNECTION POINTS BEFORE STARTING WORK. ALERT EOR OF ALL CONFLICTS.

GENERAL NEW WORK HVAC NOTES:

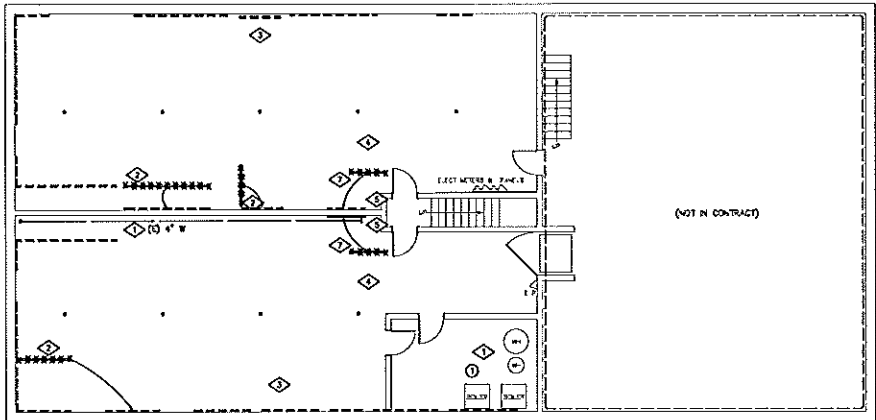
1. REMOVE AND RE-INSTALL EXISTING FURNACES, ASSOCIATED SUPPLY/RETURN DUCTWORK, GAS PIPING, FLUE/GA DUCTWORK, AND AIR DEVICES TO THE EXTENT NEEDED TO ACCOMMODATE THE INSTALLATION OF THE NEW FIRE RATED ASSEMBLY. NEW DROP CEILING TO BE INSTALLED BELOW DUCTWORK. ROUTE CONDENSATE DRAIN TO TAILPIPE OF LAVATORY IN NEW RESTROOM.
2. RE-BALANCE ALL DIFFUSERS TO CFM LISTED ON PLANS.
3. M6 TO VERIFY ALL EQUIPMENT AND ASSOCIATED DUCTWORK/AIR DEVICES ARE CLEAN AND IN WORKING CONDITION. M6 TO REPLACE ALL COMPONENTS OF THE SYSTEM THAT ARE NOT CLEAN AND IN WORKING CONDITION.
4. "SM" TAG INDICATES NEW SUPPLY DIFFUSER. MAKE AND MODEL TO MATCH EXISTING DEVICES. PROVIDE NEW BRANCH DUCTWORK AND BALANCE TO CFM LISTED.
5. "RM" TAG INDICATES NEW RETURN GRILLE. MAKE AND MODEL TO MATCH EXISTING DEVICES. PROVIDE NEW BRANCH DUCTWORK AS SHOWN.

NEW WORK HVAC NOTES:

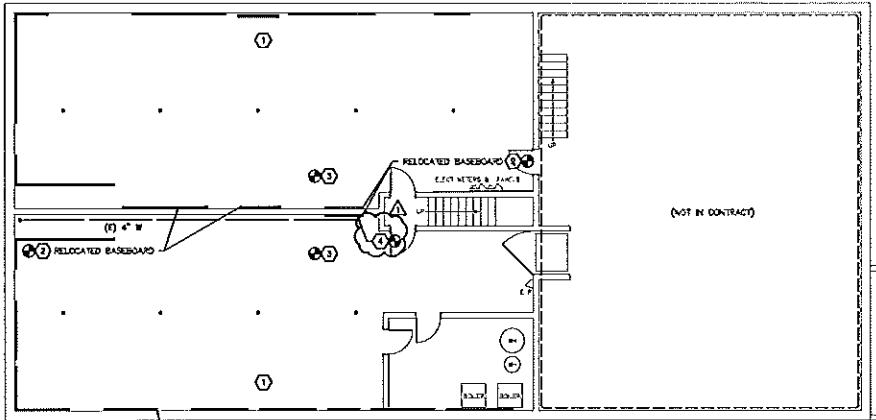
1. RELOCATE EXISTING EXHAUST GRILLE IN NEW RESTROOM CEILING. RE-CONNECT TO EXISTING EXHAUST DUCTWORK.
2. NOT USED.
3. ALL HVAC WORK IS EXISTING TO REMAIN IN THIS ROOM. ROOM NOT IN CONTRACT.
4. PROVIDE NEW FIRE DAMPERS TO MAINTAIN FIRE RATING AT NEW PENETRATIONS. PROVIDE ACCESS PANELS FOR FULL FIRE DAMPER SERVICE ACCESS. FIRE DAMPERS SHALL COMPLY W/ 2015 IBC 708.8 & 708.7.
5. PROVIDE (2) NEW RETURN GRILLES CONNECTED WITH 6" RA DUCT FOR TRANSFER OF RETURN AIR.

NEW WORK PLUMBING NOTES:

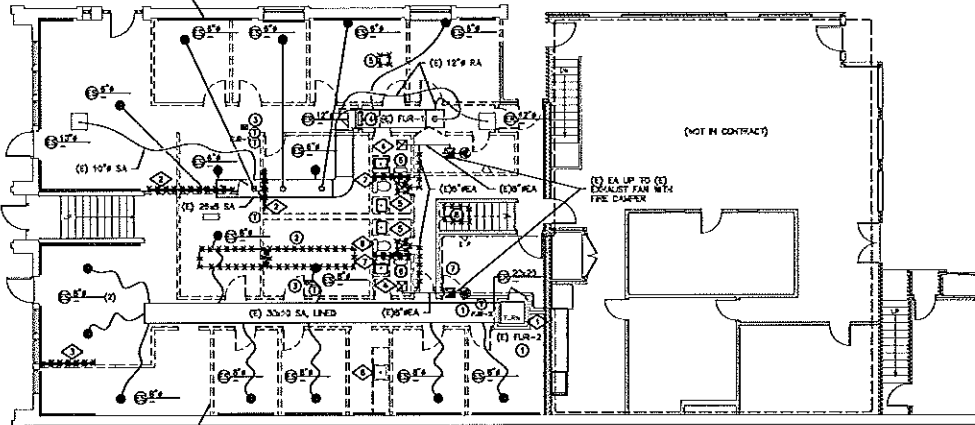
1. ALL HYDRONIC BASEBOARDS ON FLOOR ABOVE, LOCATIONS SHOWN FOR REFERENCE.
2. EXTEND EXISTING HYDRONIC PIPING AS NECESSARY TO RE-CONNECT BASEBOARDS IN LOCATION SHOWN.
3. RE-INSTALL EXISTING PLUMBING FIXTURES IN NEW RESTROOM. RE-CONNECT TO EXISTING CW, HW, WASTE, AND VENT PIPING.
4. AREA OF POINT OF CONNECTION FOR WASTE AND WATER LINES. WASTE AND WATER LINES ARE ACCESSIBLE IN BASEMENT. DRIPPED CEILING.
5. AREA OF POINT OF CONNECTION FOR VENT LINE ABOVE DRIPPED CEILING.



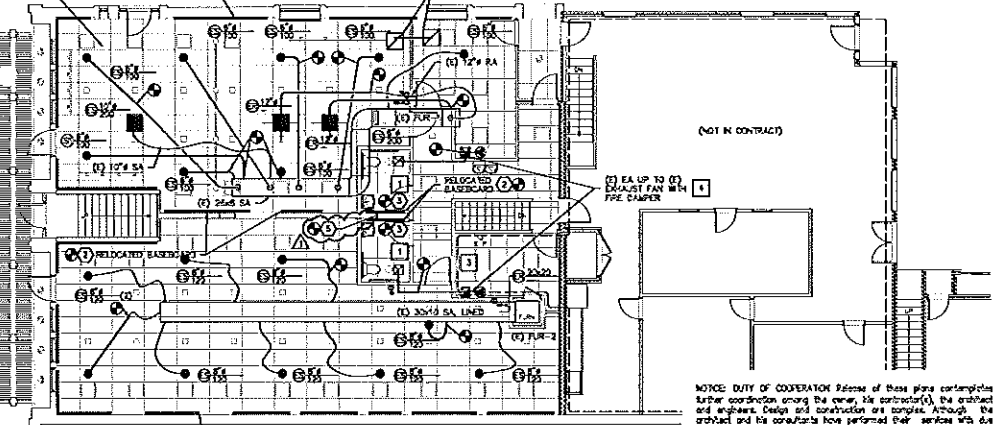
1 BASEMENT DEMOLITION PLAN
SCALE: 1/8"=1'-0"
NORTH



3 BASEMENT NEW WORK PLAN
SCALE: 1/8"=1'-0"
NORTH



2 MAIN FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"
NORTH



4 MAIN FLOOR NEW WORK PLAN
SCALE: 1/8"=1'-0"
NORTH

NOTICE: DUTY OF COOPERATION: Review of these plans constitutes further coordination among the owner, his contractor(s), the architect and engineer. Design and construction are complete. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is important, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A laborer is cooperative by a notice to the architect shall relieve the architect/engineer from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized and shall relieve the architect/engineer of responsibility for all consequences caused by such changes.

PCD ENGINEERING SERVICES
323 THIRD AVE. #100, LONGMONT, CO. 80501
TEL: (303) 678.1108 • FAX: (303) 678.1142 • PCDENGINEERING.COM

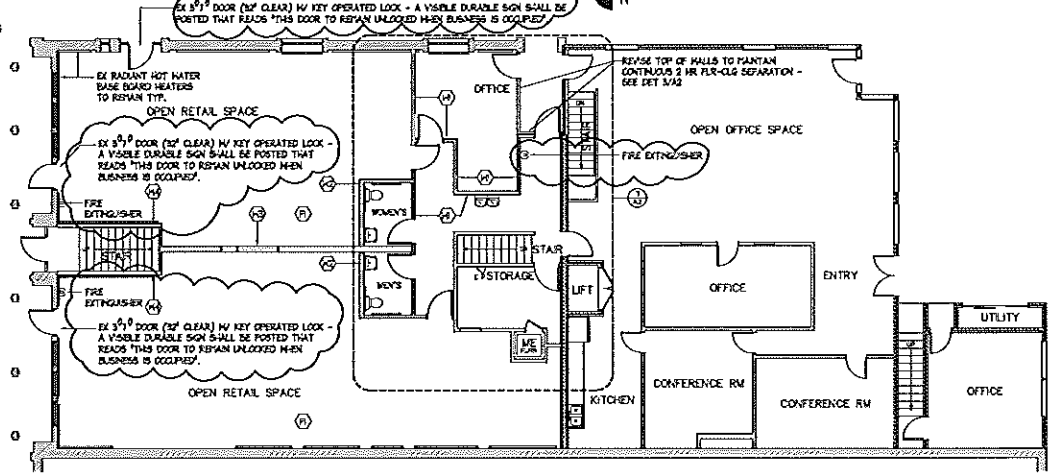
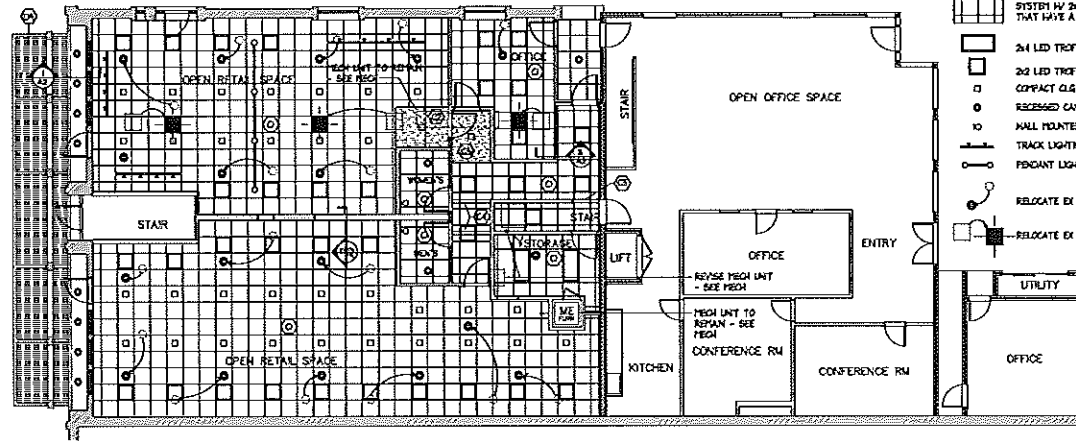
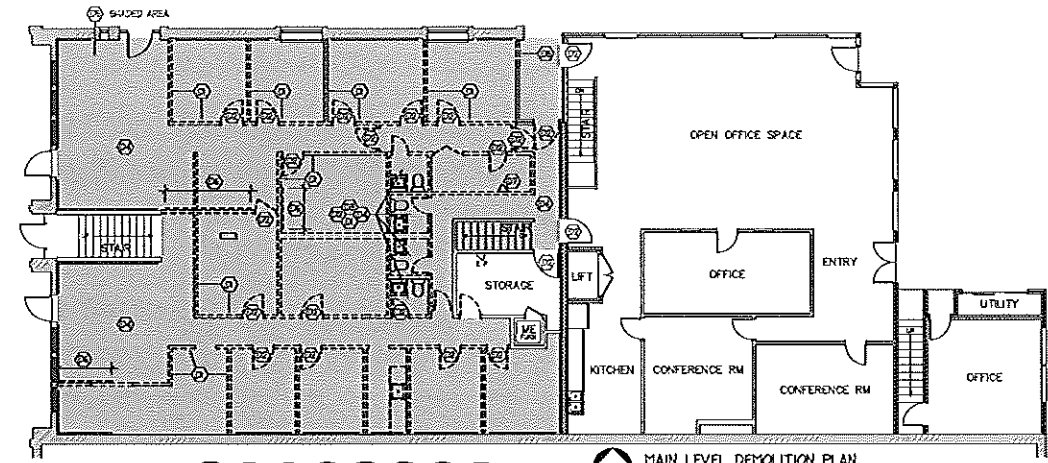
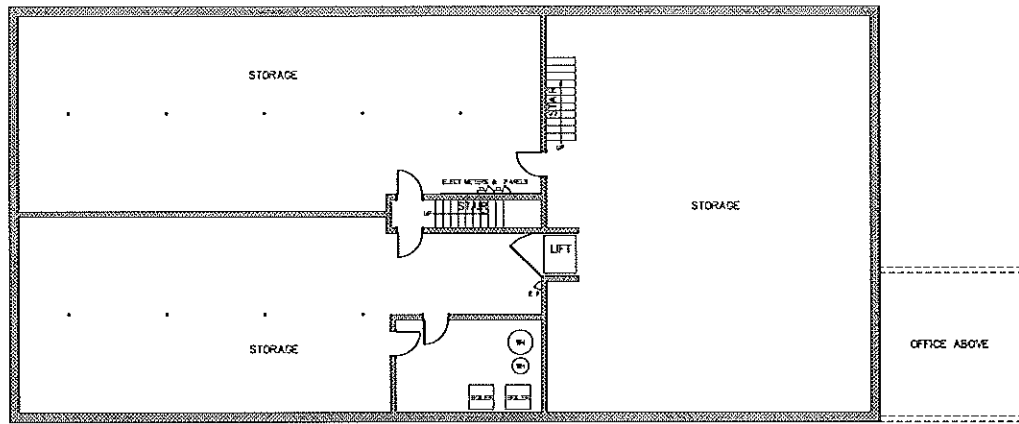
REVISIONS		
DATE	DESCRIPTION	BY
04/12/17	PERMIT SET	0
04/13/17	PRG #	1

PROJECT NAME: 520 MAIN - PHASE 1 AND 2
 ADDRESS: 520 MAIN STREET
 LONGMONT, CO

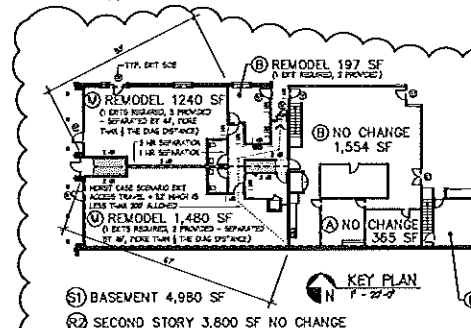
MECHANICAL DEMOLITION AND NEW WORK PLANS

PROJECT NO: 17023
 DRAWN BY: WS
 CHECKED BY: PD
 DATE: 05-12-17

M1.1



- RCP LEGEND**
- 2x4 ACoustical suspended ceiling system w/ 2x4 ceiling tiles that have a 2x2 appearance.
 - 2x4 LED TRIFLER
 - 2x2 LED TRIFLER
 - COMPACT CLR MOUNTED LED LIGHT
 - RECESSED CXL LED LIGHT
 - HALL MOUNTED SCORCE
 - TRACK LIGHTING
 - PENDANT LIGHTING
 - RELOCATE EX SUPPLY DIFFUSER
 - RELOCATE EX RETURN AIR GRILL



USE, OCCUPANCY & FIXTURE COUNTS*

GROSS SF	OCCUPANTS		NC REQ		LAV REQ	
	TOT	M	M	M	M	M
A ASSEMBLY (CONFERENCE ROOMS)	345	1/5	2/33	2/7	2/7	2/1
B BUSINESS (OFFICE)	1,508	1/10	4/14	4/14	2/1	2/1
H MERCANTILE (RETAIL)	2,720	1/10	4/33	22/87	2/1	2/1
R2 APARTMENTS (UPPER LEVEL)	3,300	1/1	1/1	1/1	1/1	1/1
S1 STORAGE (BASEMENT)	4,460	1/100	1/16	1/16	1/16	1/16
TOTALS	10,093	1/11	4/15	4/15	2/7	2/1

- KEYNOTES**
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THIS PROJECT TO BUILD IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS.
 - THE GC SHALL VISIT THE JOB SITE AND SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE DRAWINGS OR ERRORS OR OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS BY THE GC SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CORRECTION BEFORE PROCEEDING WITH RELATED WORK. OTHERWISE THE GC SHALL ACCEPT THE RESPONSIBILITY FOR ANY DISCREPANCY.
 - THE SPECIFIED ITEMS DESCRIBED IN DRAWINGS, SPECIFICATIONS, DETAILS AND SCHEDULES SHALL BE SUPPLIED AND INSTALLED AS PROVIDED UNLESS OTHERWISE SPECIFIED TO THE APPROVAL OF THE ARCHITECT IN WRITING PRIOR TO BEGINNING.
 - ALL PRODUCTS SHALL BE INSTALLED OR PLACED AS PER IFC's INSTRUCTIONS OR RECOMMENDATIONS AND OF THE QUALITY ACCEPTED BY THE INDUSTRY. THE ARCHITECT RESERVES THE RIGHT TO SELECT ANY WORK NOT MEETING THESE STANDARDS.
- RESOLUTION**
- REMOVE & DISPOSE OF ENTIRE HALL SYSTEM AFTER DEMO PATCH REMAINING FINISHES TO MATCH EXISTING.
 - REMOVE & DISPOSE OF ENTIRE DOOR SYSTEM.
 - REMOVE & DISPOSE OF ALL BATHROOM FIXTURES. AFTER DEMO PREP REMAINING SURFACES TO RECEIVE NEW FIXTURES.
 - REMOVE & DISPOSE OF ALL EXISTING FLOOR FINISHES. AFTER DEMO PREP FLOOR TO RECEIVE NEW FINISHES.
 - REMOVE & DISPOSE OF ENTIRE SUSPENDED CEILING GRID SYSTEM. SET ASIDE REMAINING SUPPLY AIR DIFFUSERS FOR REINSTALLATION.
 - REFER TO MECHANICAL DRAWINGS FOR MODIFICATIONS TO RADIANT HOT WATER BASE BOARD HEATERS.
 - REFER TO ELECTRICAL DRAWINGS FOR MODIFICATIONS TO ELECTRICAL PANELS.

- CONSTRUCTION TYPE: IIIB NON SPRINKLERED ALLOW AREAS**
- A ASSEMBLY (CONFERENCE ROOMS) 365 / 8,500 = 2/3
 - B BUSINESS (OFFICE) 1,460 / 10,000 = 3/25
 - H MERCANTILE (RETAIL) 2,720 / 12,500 = 2/8
 - R2 APARTMENTS 3,300 / 16,000 = 2/36
 - S1 STORAGE (OFFICE PRODUCTS) 4,460 / 17,500 = 2/26
- TOTAL DOORS (EXCEPT STAIRS) - SEPARATED BY 4' MIN. CLEARANCE** 267
- 50 USE GROUPS ACCEPTABLE**
- CODE NOTES:**
- EX BUILDING IS 2 STORES. FOR COST TYPE IIB CODE PERMITS THIS.
 - EX BUILDING IS 27' HIGH. FOR A COST TYPE IIB, CODE PERMITS THIS.
 - THERE ARE NO DEAD END CORRIDORS.
 - ALL EXTERIOR LOAD BEARING WALLS ARE SOLID MASONRY AT LEAST 4" THICK WHICH IS AT LEAST A 4 HR RATING.
 - COMMON PATH OF EGRESS IS 24" WIDE WITH AN ALLOWABLE 75%.
 - NO SPECIAL OCCUPANCIES OR RESIDENTIAL LEVELS.

- TOTAL REQUIRED EXIT WIDTH:**
- MINIMUM TOTAL OCCUPANTS DURING THIS LEVEL REQUIRE A MINIMUM EGRESS WIDTH OF 96.0' ± 0.02". THESE ARE NEARLY 24' OR 20' OF EGRESS WIDTH PROVIDED WITH ALL OF THE EXIT DOORS. THIS IS WELL IN EXCESS OF WHAT IS REQUIRED. EVERY EXIT DOOR (EXISTING & NEW) SHALL MAINTAIN A MIN CLEAR OPENING WIDTH OF 32".
- HSR SEPARATION REQ'D:**
- | | | | |
|---|---|----|----|
| B | M | R2 | S1 |
| 1 | 1 | 1 | 1 |
| 1 | 1 | 1 | 1 |
| 1 | 1 | 1 | 1 |
| 1 | 1 | 1 | 1 |
- 1ST FLOOR IS SPRINKLERED, SECOND IS NOT SPRINKLERED. ASSEMBLY (CONFERENCE ROOMS) NOT CONSIDERED SINCE THEY ARE EXISTING & THERE IS NO CHANGE TO THEM. THIS PROJECT WILL NOT USE SPRINKLERS.

- DEMOITION**
- REMOVE PORTION OF EXTERIOR HALL TO RECEIVE NEW EXTERIOR DOOR. PATCH WALLS TO MATCH EXISTING.
 - REMOVE & DISPOSE OF HOOD PLANK ROOFING SYSTEM. LEAVE HEAVY TRUSS FRAMING SYSTEM IN PLACE. ADD METAL FLASHING TO ALL EXPOSED HORIZONTAL SURFACES.
 - REMOVE 2x4 ACoustical ceiling tile & GRID SYSTEM SELECTED BY OWNER & GC. SEE DETAILS 1/14, 1/14, 1/14, 1/14. ALL 2' x 2' AFF.
 - NEW HANG LED CLG. FRAME OUT OF 2x4s @ 16" O.C. W/ 1 LAYER OF 1/2" GYP CD. EXPOSED SOLE - TAPE TEXTURE & PAINT TO MATCH EXISTING HOLD CELING AS CLOSE AS POSSIBLE TO EX TECH UNIT.
 - NEW 1 HR HANG LED CLG. FRAME OUT OF 2x4s @ 16" O.C. W/ 1 LAYER OF 1/2" GYP CD. EX. SOLE - TAPE TEXTURE & PAINT TO MATCH EXISTING HOLD CELING AS CLOSE AS POSSIBLE TO EX TECH UNIT.
 - RAISE HEADERS (BEAMS) AND ASSOCIATED FRAMING TO ACCOMMODATE THE NEW CEILING HEIGHT. HANG W/ 2 LAYERS OF 1/2" GYP CD BOTTOM & SOLES TO MAINTAIN 2 HR RATING.
- DOORS**
- NEW INTERIOR DOOR & HARDWARE SYSTEM PER OWNER & GC. THIS DOOR IS PART OF A 1 HR CORRIDOR ASSEMBLY WHICH REQUIRES A 20 MIN RATING. DOOR SHALL BE SELF CLOSING. ALL HARDWARE SHALL COMPLY WITH 209 IBC CHAPTER 10 & 2004 IBC A771 CHAPTER 4.
 - NEW EXTERIOR DOOR & HARDWARE SYSTEM PER OWNER & GC. THIS DOOR IS PART OF A 1 HR CORRIDOR ASSEMBLY WHICH REQUIRES A 20 MIN RATING. DOOR SHALL BE SELF CLOSING. ALL HARDWARE SHALL COMPLY WITH 209 IBC CHAPTER 10 & 2004 IBC A771 CHAPTER 4. IF A LOCKING DEVICE IS USED THEN A VISIBLE DURABLE SIGN SHALL BE POSTED THAT READS "THIS DOOR TO REMAIN UNLOCKED WHEN BUSINESS IS OCCUPYED".
 - NEW INTERIOR DOOR & HARDWARE SYSTEM PER OWNER & GC. THIS DOOR IS PART OF A 1 HR LOAD BEARING WALL ASSEMBLY WHICH REQUIRES A 1 HR RATING. DOOR SHALL BE SELF CLOSING. ALL HARDWARE SHALL COMPLY WITH 209 IBC CHAPTER 10 & 2004 IBC A771 CHAPTER 4.

(NOT ALL NOTES APPLY TO THIS SHEET)

FLOORS

- NEW FLOOR FINISHES PER OWNER & GC.

HALLS

- NEW 2x4 @ 16" O.C. HOOD STUD FRAMED HALL W/ 1 LAYER OF 5/8" GYP CD ON EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING. TOP OF HALL TO BUTT INTO 2 HR FLURCLE ASSEMBLY - SEE DET 2/12.
- NEW 2x4 @ 16" O.C. HOOD STUD FRAMED PLUMBING HALL W/ 1 LAYER OF 5/8" GYP CD ON EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING. TOP OF HALL TO BUTT INTO 2 HR FLURCLE ASSEMBLY - SEE DET 2/12.
- 2 HR ASSEMBLY HALL - EX 2x6 @ 16" O.C. LOAD BEARING HOOD STUD FRAMED HALL. REMOVE ALL EX DRYWALL. ADD 2 LAYERS OF 5/8" GYP CD ON EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING. TOP OF HALL THROUGH OPENINGS TO MATCH THE REST OF THE HALL. TOP OF HALL INTERRUPTS 2 HR FLURCLE ASSEMBLY - SEE DET 2/12.
- EX 2x4 @ 16" O.C. LOAD BEARING HOOD STUD FRAMED STAIR SHAFT HALL TO RECEIVE 1 HR RATED. REMOVE ALL EX DRYWALL ON BOTH SIDES. ADD 2 LAYERS OF 5/8" GYP CD ON EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING.

SHEET INDEX

- A1 PLANS
- A2 ENLARGED PLANS, INTERIOR ELEVATIONS, DETAILS
- E1 LIGHTING PLAN, POWER PLAN
- E2 PANEL INFO, ONE-LINE DIAGRAM
- M0.1 MECHANICAL LEGEND AND NOTES
- M0.2 MECHANICAL CONTROLS & NOTES
- M1.1 MECHANICAL PLANS

520 MAIN STREET VANILLA SHELL
RESUBMITTAL
LONGMONT, COLORADO

DLB & ASSOCIATES, LLC
ARCHITECTS / PLANNERS

DATE: 6/2/2022
REVISIONS: 6/2/2022

JOB NO. _____
SHEET NO. **A1**

KEYNOTES (NOT ALL NOTES APPLY TO THIS SHEET)

- GENERAL**
- 1 THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THIS PROJECT TO BUILD IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS.
 - 2 THE GC SHALL VISIT THE JOB SITE AND SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE DRAWINGS OR ERRORS OR OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS BY THE GC SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CORRECTION BEFORE PROCEEDING WITH RELATED WORK. OTHERWISE THE GC SHALL ACCEPT THE RESPONSIBILITY FOR ANY DISCREPANCIES.
 - 3 THE SPECIFIED ITEMS DESCRIBED IN DRAWINGS, SPECIFICATIONS, DETAILS AND SCHEDULES SHALL BE SUPPLIED AND INSTALLED AS DESCRIBED WITH ALTERNATE EQUALS SUBJECT TO APPROVAL BY THE ARCHITECT IN WRITING PRIOR TO BUILDING.
 - 4 ALL PRODUCTS SHALL BE INSTALLED OR PLACED AS PER THE INSTRUCTIONS OR RECOMMENDATIONS AND OF THE QUALITY ACCEPTED BY THE INDUSTRY. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY WORK NOT MEETING THESE STANDARDS.

- DEMOLITION**
- (1) REMOVE & DISPOSE OF ENTIRE WALL SYSTEM AFTER DEMO PATCH REMAINING FINISHES TO MATCH EXISTING.
 - (2) REMOVE & DISPOSE OF ENTIRE DOOR SYSTEM.
 - (3) REMOVE & DISPOSE OF ALL BATHROOM FIXTURES. AFTER DEMO PREP REMAINING FINISHES TO RECEIVE NEW FIXTURES.
 - (4) REMOVE & DISPOSE OF ALL EXISTING FLOOR FINISHES. AFTER DEMO PREP FLOOR TO RECEIVE NEW FINISHES.
 - (5) REMOVE & DISPOSE OF ENTIRE SUSPENDED CEILING GRID SYSTEM. SET ASIDE ROUND SUPPLY AIR DIFFUSERS FOR REINSTALLATION.
 - (6) REFER TO MECHANICAL DRAWINGS FOR MODIFICATIONS TO RADIANT HOT WATER BASE BOARD HEATERS.
 - (7) REFER TO ELECTRICAL DRAWINGS FOR MODIFICATIONS TO ELECTRICAL PANELS.
 - (8) REMOVE PORTION OF EXTERIOR WALL TO RECEIVE NEW EXTERIOR DOOR. PATCH WALLS TO MATCH EXISTING.
 - (9) REMOVE & DISPOSE OF WOOD PLANK ROOFING SYSTEM. LEAVE HEAVY STEEL FRAMING SYSTEM IN PLACE. ADD METAL FLASHING TO ALL EXPOSED HORIZONTAL SURFACES.

- CEILING**
- (1) NEW 2x4 ACoustical CEILING TILE & GRID SYSTEM SELECTED BY OWNER & GC. SEE DETAILS 1/2A, 2/2A, & 3/2A. CLG @ 12" O.C.
 - (2) NEW HARD LID CLG. FRAME OUT OF 2x4S @ 16" O.C. W/ 1 LAYER OF 1/2" GYP GO. EXPOSED SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING. HOLD CEILING AS CLOSE AS POSSIBLE TO EX HGT UNIT.
 - (3) NEW 1 HR HARD LID CLG. FRAME OUT OF 2x4S @ 16" O.C. W/ 1 LAYER OF 1/2" GYP GO. EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING. HOLD CEILING AS CLOSE AS POSSIBLE TO EX HGT UNIT.
 - (4) RAISE HEADERS (BEAMS) AND ASSOCIATED FRAMING TO ACCOMMODATE THE NEW CEILING HEIGHT. MIN 1/2" LAYERS OF 1/2" GYP GO BOTTOM SIDES TO MAINTAIN 1 HR RATING.

- DOORS**
- (1) NEW INTERIOR DOOR & HARDWARE SYSTEM PER OWNER & GC. THIS DOOR IS PART OF A 1 HR CORRIDOR ASSEMBLY. THIS DOOR REQUIRES A 20 MIN RATING. DOOR SHALL BE SELF CLOSING. ALL HARDWARE SHALL COMPLY WITH 2015 IBC CHAPTER 10 & 2014 ICC A771 CHAPTER 4.
 - (2) NEW EXTERIOR DOOR & HARDWARE SYSTEM PER OWNER & GC. THIS DOOR IS PART OF A 1 HR CORRIDOR ASSEMBLY. THIS DOOR REQUIRES A 20 MIN RATING. DOOR SHALL BE SELF CLOSING. ALL HARDWARE SHALL COMPLY WITH 2015 IBC CHAPTER 10 & 2014 ICC A771 CHAPTER 4. IF A LOCKING DEVICE IS USED THEN A VISIBLE DURABLE SIGN SHALL BE POSTED THAT READS THIS DOOR TO REMAIN UNLOCKED WHEN BUSINESS IS OCCUPIED.
 - (3) NEW INTERIOR DOOR & HARDWARE SYSTEM PER OWNER & GC. THIS DOOR IS PART OF A 1 HR LOAD BEARING WALL ASSEMBLY. THIS DOOR REQUIRES A 1 HR RATING. DOOR SHALL BE SELF CLOSING. ALL HARDWARE SHALL COMPLY WITH 2015 IBC CHAPTER 10 & 2014 ICC A771 CHAPTER 4.

- FLOORS**
- (1) NEW FLOOR FINISHES PER OWNER & GC.
- HALLS**
- (1) NEW 2x4 @ 16" O.C. WOOD STUD FRAMED WALL W/ 1 LAYER OF 5/8" GYP BO EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING. TOP OF WALL TO BUTT INTO 2 HR FLURCLG ASSEMBLY - SEE DET 2/2A.
 - (2) NEW 2x4 @ 16" O.C. WOOD STUD FRAMED WALLING W/ 1 LAYER OF 5/8" GYP BO EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING. TOP OF WALL TO BUTT INTO 2 HR FLURCLG ASSEMBLY - SEE DET 2/2A.
 - (3) 1 HR ASSEMBLY WALL - EX 2x4 @ 16" O.C. LOAD BEARING WOOD STUD FRAMED WALL. REMOVE ALL EX DRYWALL. ADD 2 LAYERS OF 5/8" GYP BO EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING. INFILL ALL DOOR OR WALK THROUGH OPENINGS TO MATCH THE REST OF THE WALL. TOP OF WALL INTERLPTS 2 HR FLURCLG ASSEMBLY - SEE DET 2/2A.
 - (4) EX 2x4 @ 16" O.C. LOAD BEARING WOOD STUD FRAMED STAIR SHUNT WALL TO REMOVE 1 HR RATING. REMOVE ALL EX DRYWALL ON BOTH SIDES. ADD 2 LAYERS OF 5/8" GYP BO ON EA SIDE - TAPE TEXTURE & PAINT TO MATCH EXISTING.

520 MAIN STREET VANILLA SHELL RESUBMITTAL
LONGMONT, COLORADO

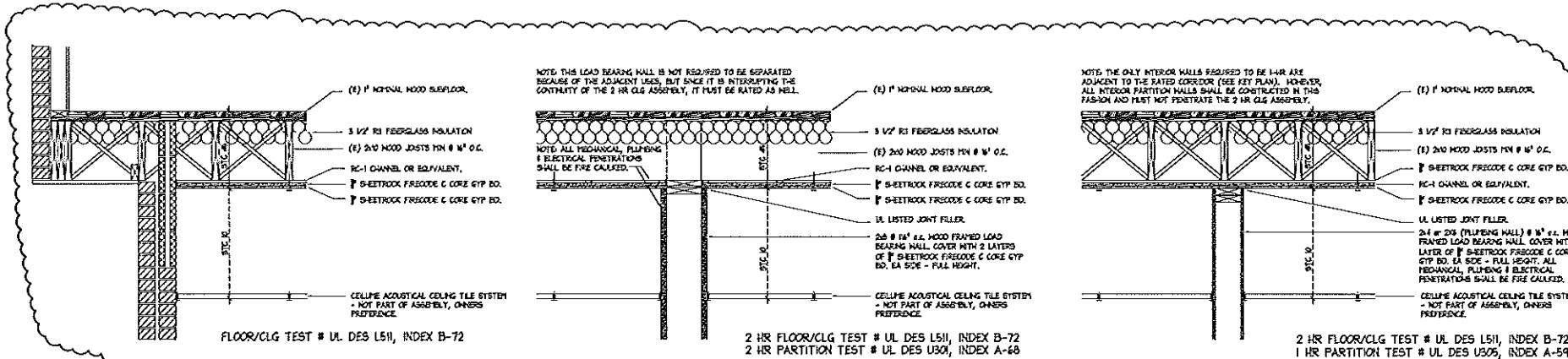
DLB & ASSOCIATES, LLC
ARCHITECTS / PLANNERS

DATE: 5/2/23
ADDRESS: 5110 E. LONGMONT AVENUE, LONGMONT, CO 80501
PHONE: 303.776.5377 FAX: 303.776.5378

REVISIONS
6/2/23

JOB NO.

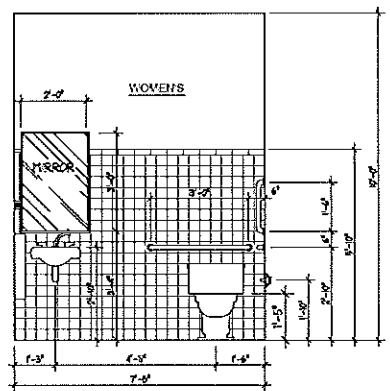
SHEET NO.
A2



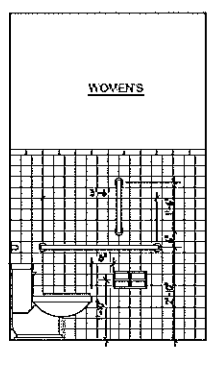
1 2 HR FIRE-RATED ASSEMBLY DETAIL
1/4" = 1'-0"

2 2 HR FIRE-RATED ASSEMBLY DETAIL
1/4" = 1'-0"

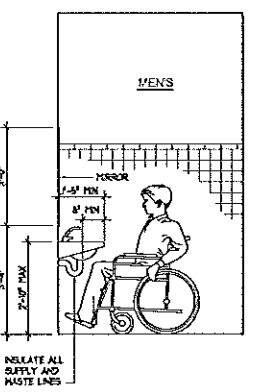
3 2 HR FIRE-RATED ASSEMBLY DETAIL W/ 1 HR PARTITION
1/4" = 1'-0"



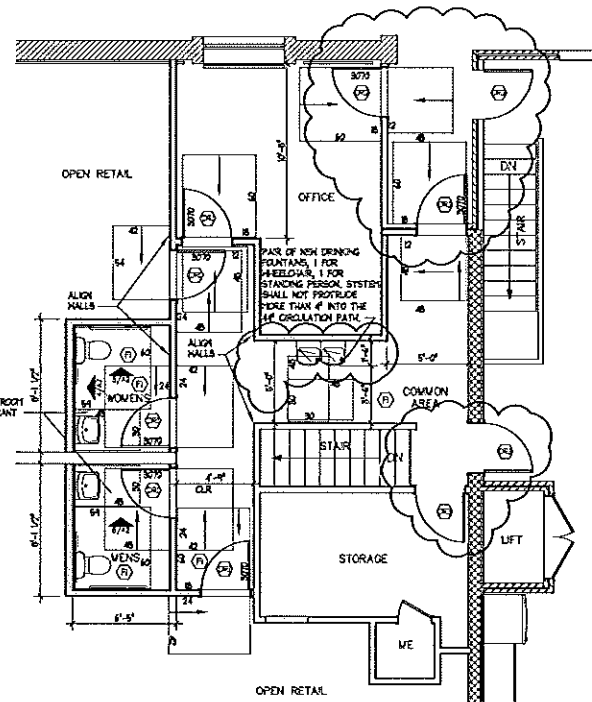
4 INTERIOR ELEVATIONS
1/4" = 1'-0"



5 INTERIOR ELEVATIONS
1/4" = 1'-0"



6 INTERIOR ELEVATIONS
1/4" = 1'-0"



7 ENLARGED FLOOR PLAN
1/4" = 1'-0"

